

## PDSC MEETING AGENDA

**DATE:** 9/25/2024  
**TIME:** 3:00-4:30 PM  
**LOCATION:** Hybrid – Airport Conference Room & Zoom  
**RE:** Planning and Development Subcommittee

### PDSC Objectives:

- Support the implementation of the 2023-2024 Strategic Plan and the 2020 Airport Master Plan
- Provide ongoing support and input on specific plans and proposals for the development of Airport property
- Provide input on other business development efforts as appropriate

### PDSC Agenda Items:

- 1) **Meeting Minutes – August 7, 2024 (5 min.)**
- 2) **Site C Development Proposal Review (35 min.)**
- 3) **Site B Development Proposal Review (40 min.)**
- 4) **Open Discussion (10 min.)**

Join Zoom Meeting

**Wednesday, September 25, 2024 – 3:00 p.m.**

<https://us06web.zoom.us/j/97011482750?pwd=V1pVVHdrMXZibzlyZ3RFanpRK2NIZz09>

Meeting ID: 970 1148 2750

Passcode: 465261

One tap mobile

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+12532050468,,97011482750#,,,,\*465261# US

**DATE:** 8/7/2024  
**TIME:** 3:00 – 4:46 p.m.  
**RE:** Planning and Development Subcommittee Meeting (PDSC)  
**ATTENDEES:** Rick Turley, Troy Bliss, Josh Birks, Scott Schorling, Diane Jones, Tom Flemming, Aaron Ehle, Kate Morgan, Laurie Wilson, Dale Miller, Jared Bass

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**Begin Meeting Record 6/18/2024**

**Agenda Item #1:**

**Development Update**

- Meetings with the Request for Expressions of interest (REOI) Respondents will be taking place later in the week and next week. Concept review meetings with the City of Loveland are also being scheduled.

**Agenda Item #2:**

**Airport Capital Improvement Plan (ACIP) Review**

- Staff is seeking feedback on the format, priorities, assumptions, context, etc.
- The Airport Capital Improvement Plan (ACIP) is used to plan, prioritize, and fund significant infrastructure projects. These projects are essential for maintaining, upgrading, and expanding airport facilities to ensure safety, efficiency, and capacity to meet current and future demands.
- The ACIP projects are linked to Master Plan priorities.
- The ACIP contains projects with identified funding and some projects that don't currently have a funding source.
  - We need to clearly distinguish which projects are funded and which ones aren't
  - FAA funding may be available for an air traffic control tower but has not yet been identified. The presence of commercial service will increase the odds.
    - The Airport is moving forward with planning for both a digital tower and physical tower. A choice will likely be made in 2025 when more is known about the status of the FAA's digital tower test project.
  - We need a wholistic strategy for funding projects that aren't funded by the FAA/State.
    - Potential commercial air service would generate additional revenue that could be used to fund some of these projects.
    - Switching to an Airport Authority model could open up new pathways to obtaining funding.
- Terminal construction is on schedule and on budget. Construction is anticipated to be complete in October.
- Design has begun on the runway widening project, with construction expected in 2026.
  - This is required for the Airport to meet the design standards for a Design Group III airport.

- 150' width will make FNL more attractive to commercial airlines but is not required for commercial service.
- This project will include new lighting and taxiway connectors.
- The FAA would prefer a one-phase project as it is safest and most cost effective. They will support a two-phase approach, which was preferred by Airport stakeholders in a recent survey. If the Airport pursues a three-phase approach, it will be responsible for the extra cost.
- CDOT Aeronautics has committed \$2 million for Taxiway A rehabilitation.
- Rehabilitation projects for several taxiways/taxilanes will take place this fall.
- The fuel farm citing study is nearly complete. It is unknown when the funding will be available for design and construction.
- Site C development – the Airport is funding the environmental evaluation, and the Airport Layout Plan update this year.
  - A previous version of the CIP that was shared earlier this year showed Airport-funded improvements on Site C using Bipartisan Infrastructure Law (BIL) funding. The Airport has since learned that the FAA require that funding to be applied to the runway widening project.
    - The Airport Commission provided direction to add some level of funding back into the plan for Site C improvements.
- Stakeholders need to be involved early and often for CIP projects that have major impacts.
- Staff will meet with FAA and CDOT Aeronautics in October to refine the ACIP.
  - The ACIP for the first couple of years is unlikely to change. Later years contain less certainty. Funding availability and priorities are likely to change for the later years.
- Potential projects not listed on ACIP
  - Runway 6/24 improvements
    - Not eligible for FAA funding unless converted to a taxiway
  - Turf runway
  - Parallel Runway
    - Not eligible for FAA funding until main runway approaches capacity. This is not expected in the next 15 years.
  - New access road to west side – would provide a second point of access.
  - Access road improvements, aesthetic enhancements
  - Facilities for general public – restaurants, park, playground, etc.

**End Meeting Record**



# NORTHERN COLORADO REGIONAL AIRPORT

4900 Earhart Rd • Loveland, Colorado 80538

(970) 962-2850 • FAX (970) 962-2855 • TDD (970) 962-2620

**ITEM NUMBER:** 2

**MEETING DATE:** September 25, 2024

**PREPARED BY:** Aaron Ehle, Airport Planning & Development Specialist

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## **TITLE**

Site C Development Proposal Review

## **RECOMMENDED PDSC ACTION**

Provide feedback on proposed layouts and development considerations

Provide guidance on potential lease agreement

## **SUMMARY**

Earlier this year, the Airport issued a Request for Expressions of Interest (REOI). 5 responses were received for Site C. One of the respondents has indicated that development plans on Site C are on hold for now. The other four respondents have been coordinating on a joint layout for the area. Two of the respondents, Century Helicopters and Reach Air, are on a faster development timeline and are requesting to move forward as quickly as possible in executing a lease agreement and obtaining City of Loveland approvals. The other two respondents have indicated that they support this approach, and that they will move forward at a later date.

### Century Helicopters/Reach Air Proposal

- Project Overview
- Layout Review
  - o Alignment with Master Plan
  - o Design Standards
- Concept Review Comments
- Lease Agreement
  - o Offsite Improvements
  - o Lease Footprint
  - o Lease Rate (Unimproved vs. Improved)

## **ATTACHMENTS**

Concept Review Application

Concept Review Comments

Airport Layout Plan (Full Master Plan at

<https://www.flynoco.com/airport-commission/guiding-documents/master-plan/>)

Design Standards Map (full document at

<https://www.flynoco.com/wp-content/uploads/2020/12/Airport-Land-Use-Design-Standards.pdf>)

# CONCEPT REVIEW

## APPLICATION AND CHECKLIST

Concept Review meetings provide an opportunity to discuss proposals for development within the City and to obtain verbal and written feedback from City staff. The purpose of the meeting is to identify procedural and design requirements early in the process, and to identify the most effective pathway to achieve project approval. There is no fee for this meeting and it is not necessary to own the subject property to submit a concept review application.

### Scheduling a Concept Review Meeting

- Each Thursday afternoon, one 45-minute time slot is available at 1:15. NOTE: Once staff shortages are resolved, additional time slots will become available.
- To be scheduled for the next available meeting, applicants must submit a complete application electronically to [eplan-planning@cityofloveland.org](mailto:eplan-planning@cityofloveland.org).
- Upon submitting a completed application, you will be notified of your assigned meeting date and time.
- Please understand that clear and detailed application information will enable staff to provide more detailed feedback on your proposed project.

### Application Checklist

Complete this checklist to verify you are submitting the required information.

- 1. Application.** Complete the application form on pages 2 and 3 of this checklist. All sections must be filled out to be a complete application.
- 2. Vicinity Map** identifying the project site within the neighborhood context, including the nearest major cross streets.
- 3. Conceptual Site Plan.** A site plan drawn neatly and accurately provides the information listed below and distinguishes between existing and proposed conditions:
  - a. Property lines;
  - b. Buildings;
  - c. Site improvements (streets, lots, driveways, sidewalks, and curbs);
  - d. Environmentally sensitive areas such as wetlands, floodplains, and mature trees;
  - e. Drainage features;
  - f. Water, wastewater, and power utilities; and
  - g. Emergency vehicle access to the site.

# APPLICATION

Project Information			
<b>Project Name:</b>			
<b>Legal Description</b>	Inside City Limits: Lot/Tract _____ Block _____ Subdivision Name _____		
	Outside City Limits: County Parcel Number: _____		
<b>Address of Existing Buildings or Property</b>			
<b>Existing Use</b>		<b>Proposed Use</b>	
<b>Will the project be phased?</b>	Yes      No	<b>Number of Phases</b>	
<b>Important Project Time Frame Needs:</b>			
Applicant's Contact Information			
Name:		Phone:	
Address: City, State:		Zip Code:	
Email Address:		Preferred Method of Contact	Phone      Email
Relationship to Project:      Property Owner      Developer      Realtor      Consultant      Other			
Meeting Information			
<p>Meetings are currently being conducted through teleconferencing. Accommodations can be made for an in-person meeting. If you would like to request an in-person meeting, please contact the Planning Division at 970-962-2523.</p> <ul style="list-style-type: none"> <li>A MS Teams meeting invitation will be sent to the applicant listed above by Tuesday, the week of the concept review meeting.</li> <li>It is the applicant's responsibility to forward the meeting invitation to those on their team that would like to attend. It is advisable to include your full team in the meeting, including ownership representatives.</li> </ul>			
Please indicate who will be attending the meeting:			
Property Owner      Developer      Realtor      Legal Representative      Consultant			
Confidentiality			
<ul style="list-style-type: none"> <li>Concept review applications and associated materials submitted to the City are considered confidential and will not be released to the public at any time.</li> <li>Written comments provided by City staff, however, are not considered confidential.</li> <li>For questions regarding confidentiality, please contact the Planning Division at 970-962-2523.</li> </ul>			

# PROJECT INFORMATION

## Existing Property and Use

Provide a description of what structures are existing, what uses are occurring, and any additional information on the current use and condition of the property.

## Proposed Development

Provide a description of the proposed use(s) and improvements proposed for the property, including building square footages, if known.

## Questions

List questions for staff. This information is required and must be completed for the application to be accepted. The more specific the questions are, the better staff can provide answers.

- 1.
- 2.
- 3.
- 4.
- 5.





**DOUD BTS, INC.**

**25528 GENESEE TRAIL ROAD  
GOLDEN, COLORADO 80401  
(303) 462-3604 TEL  
(303) 462-3739 FAX**

30 August 2024

City of Loveland – Current Planning Division  
410 E. 5<sup>th</sup> St. Loveland, CO 80537

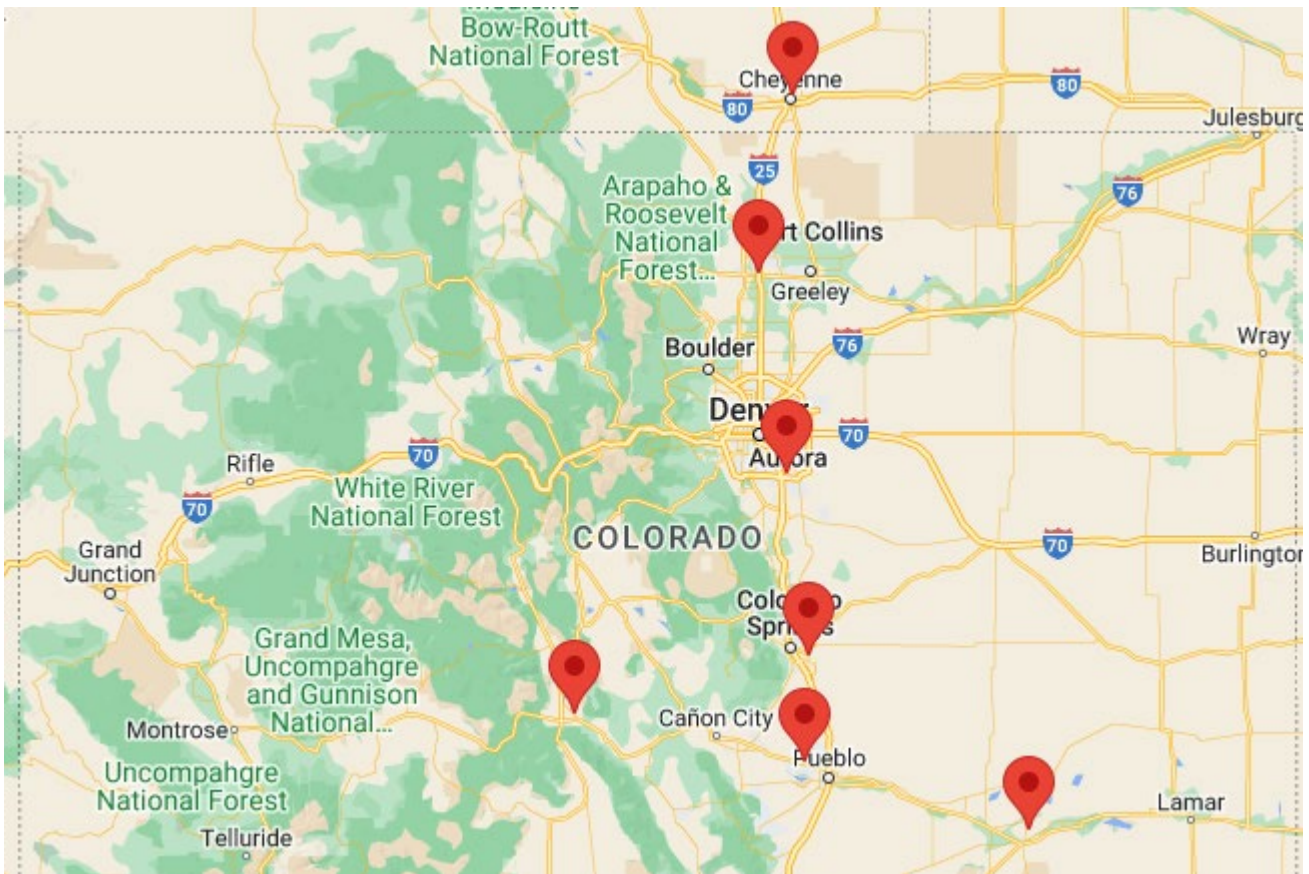
Re: Concept Review Application for the development of Site C at the Loveland Airport

Dear Sir or Madam,

Further to the information provided in the Concept Review application form, Doud BTS, Inc. is pleased to submit the following additional information regarding its proposal for the development a 12,000 square foot aircraft hangar on Site C at the Northern Colorado Regional Airport. This hangar will be used by REACH Air Medical Services, a Global Medical Response, Inc. (GMR) company that currently operates 8 emergency medical evacuation aircraft serving the residents of Colorado, including one H125 Airbus helicopter that supports the local UC Health Medical Center of the Rockies in Loveland.

As noted on the application form, this proposal is in response to Solicitation #2024-045 from the Cities of Loveland and Fort Collins and follows the favorable response from the Airport Commission to our initial Expression of Interest during their meeting on June 27, 2024.

In addition to our proposal for the REACH Air hangar, this Concept Review application also includes a proposal for construction of a 30,000 SF hangar by Century Helicopter. Given the close proximity of the two planned hangars to each other and the similar construction timelines, Doud BTS, Inc. and Century Helicopter are closely coordinating our efforts and plan to share some of the common infrastructure cost associated with development of this site.



*REACH Air Medical Services helicopters based in Colorado and Wyoming.*

## H125

The H125 helicopter, also known as the AStar AS350, is a single-engine aircraft with stellar performance. It's an American made machine with enhanced maneuverability and performance. It provides exceptional visibility and can maintain its performance from sea level all the way up to 9,000 feet. Its average cruising speed is 135 mph and has a maximum range of about 345 miles.

The H125 is perfect for air medical transports because of the low vibration levels in the cabin and its four-passenger capacity.



## **Company Background:**

Founded and owned by Ben R. Doud, Doud BTS, Inc. is a full-service build-to-suit and lease-back specialist that has been based in Golden, CO for the past 25 years. In that time, the company has developed and leased over 6,000,000 square feet of commercial property across a variety of industries in 37 U.S. states. We currently own and manage in excess of 1,000,000 square feet in 20 different states. In addition to our extensive experience building for clients in the oil and gas industry, Doud BTS has constructed retail stores, hotels, office buildings, high-security facilities for the federal government, and other airport facilities that are subject to FAA regulation and permitting requirements.

Doud BTS, Inc. is a single-shareholder S-corp owned by Ben R. Doud and the company will act as its own General Contractor for this project. Mr. Doud will be the Managing Member for a separate LLC that will be established to hold this property.

The facility planned under this proposal will be leased to Global Medical Response, Inc. (GMR) the parent company of REACH Air Medical Services, the aircraft operator at FNL. Based in Lewisville, TX, GMR provides ground and air emergency medical services and air and ground interfacility transportation around the world. GMR employs over 37,000 people with a ground fleet of over 8,000 vehicles, 375 rotary wing aircraft, and 123 fixed-wing aircraft.

In 2019, Doud BTS built a 33,000 square foot combined hangar and training facility for GMR in the Dallas-Ft Worth Metroplex. This facility included 10,000 square feet of hangar space, full-motion aircraft simulators, as well as office and classroom facilities. Based on the success of that facility and GMR's continued growth, in 2024 Doud BTS began construction on an additional facility at the same location with over 30,000 square feet of space between the aircraft hangar and a second training facility. In addition to this proposed project at the Northern Colorado Regional Airport, Doud BTS has two more GMR facilities planned in other U.S. states.

Doud BTS, Inc. has a long track record of successful construction and development projects of this type, as well as recent experience building on airport property and in compliance with FAA regulations, as noted above.

For specific questions about this proposal, please contact one of the following individuals:

- Shannon Giblock, Chief of Operations, [shannon@doubts.com](mailto:shannon@doubts.com),
- Michael Newell, Project Manager, [michael@doubts.com](mailto:michael@doubts.com),
- Theresa Anderson, Chief Finance Officer, [theresa@doubts.com](mailto:theresa@doubts.com),

### **Project description:**

**The Project:** This planned facility, provisionally dubbed “REACH Air – Loveland,” will consist of an aircraft hangar that is nominally 12,000 square feet measuring 100’ x 120’ situated in the southeast corner of Site C. The building will serve as a maintenance hangar for the REACH Air H-125 Airbus helicopter that currently operates from FNL and which serves the UC Health Medical Center of the Rockies in Loveland, CO. In addition, this hangar will also serve as the regional maintenance facility for 7 other REACH Air helicopters based in Englewood, Colorado Springs, Pueblo, Salida, and La Junta, CO, as well as one aircraft in Cheyenne, WY. This dedicated facility will reduce aircraft downtime and greatly improve REACH Air’s medevac capabilities in the region.

**Location:** See the attached vicinity map and proposed layout drawing. The selected site provides REACH Air and Century Helicopter with preferable approach and departure routes for its helicopters and will allow both facilities to commence operations without interfering with other concurrent or subsequent development efforts on Site C, including the proposed development of additional hangars by other directly north of the REACH and Century Hangars, as shown in the layout schematic.

**Site Plan:** This proposal includes two hangars. The Doud BTS, Inc. hangar for REACH Air will be 12,000 SF (100’x 120’) with a south-facing aircraft door and a 100’x100’ apron with two helicopter pads. The Century Helicopter hangar will be 300’x100’ also with south-facing aircraft doors and an equivalent size apron. There will be a single taxiway connecting both aprons to the east end of Runway 6/24.

**Vehicle/Public Access:** Doud BTS and Century Helicopter will build an extension of Rickenbacker Rd., south of Rockwell Ave., to provide vehicle and public access to the facilities. Dedicated parking for both hangars is planned. The car parking and access road will be surrounded by security fencing. The general public will be able to access the north side of both hangars but an internal hardline inside the hangars will restrict further access to airport badge holders only.

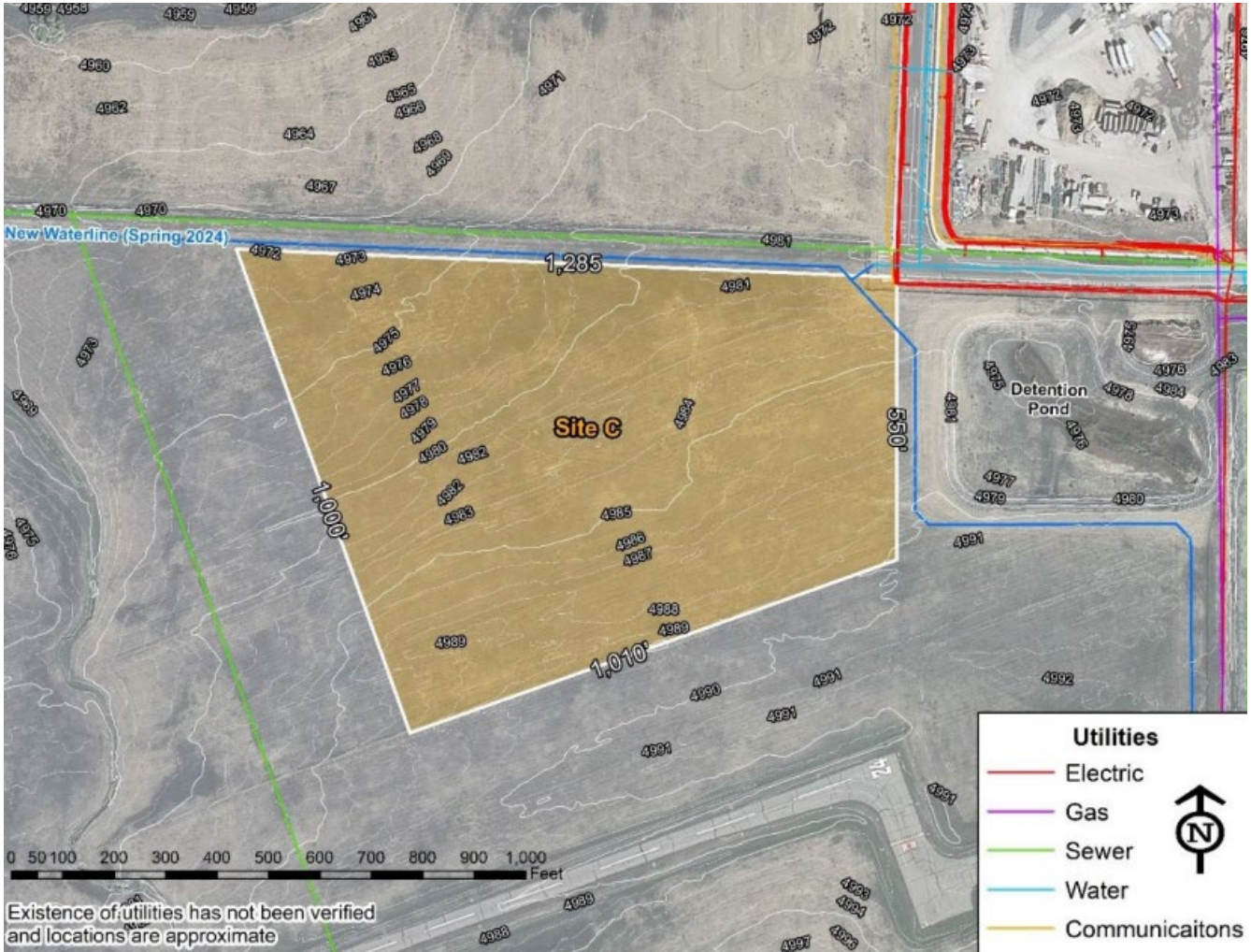
**Utilities:** Both hangars will connect to the existing water, sewer, gas, and electric utility service that is located on Rockwell Ave approximately 500’ north of the hangars.

**Development Plan and Schedule:** Doud BTS is prepared to break ground and begin construction immediately, pending approval and permitting. Following receipt of the necessary permits, construction can be completed and the site can be ready for operation within 180 days.

**Financing:** Construction costs for the REACH Air hangar will be funded with company resources and are projected at approximately \$2,200,000.00.

Vicinity Map





General Notes

ALL DIMENSIONS ARE APPROXIMATE  
ALL COLUMN LOCATIONS ARE APPROXIMATE  
ALL LOCKERS AND FURNITURE TENANT SUPPLIED

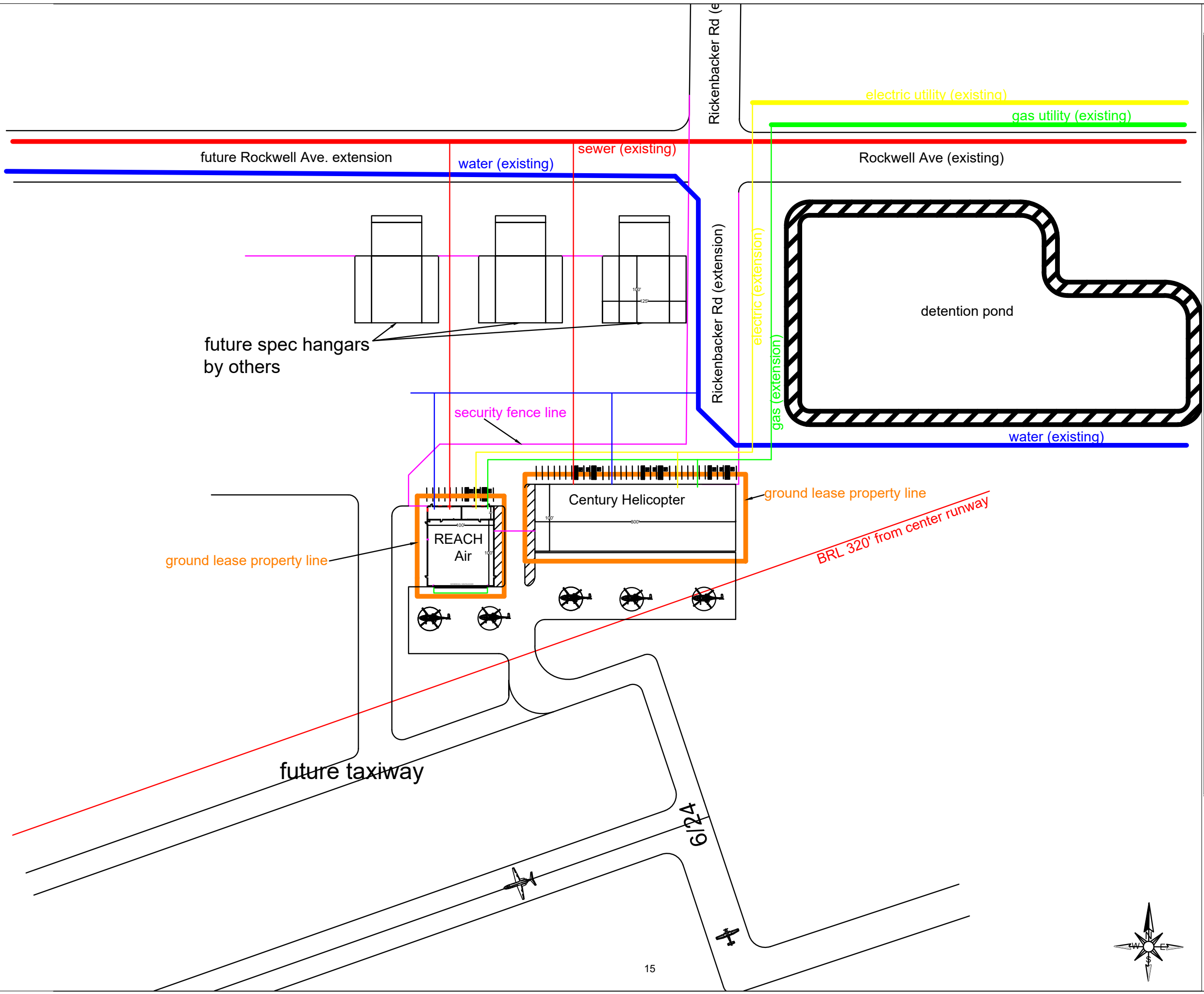
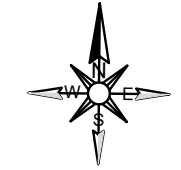
NOT FOR CONSTRUCTION

No.	Revision/Issue	Date
	1	

GMR / REACH Air  
Northern Colorado  
Regional Airport  
Loveland, CO

**DOUD BROS**  
 25528 GENESEE TRAIL  
 GOLDEN, CO 80401  
 303-462-3804 TEL  
 303-462-3739 FAX

KNOX TAYLOR  
 Date: 5/14/2024  
 Scale: DO NOT SCALE





## Concept Review City Comments

<b>Date:</b>	9/12/2024	1:15 pm
<b>Project Address:</b>	No Specific Address	
<b>Project Location:</b>	Northeast corner of FNL and directly southeast of the Rickenbacker Drive and Rockwell Avenue intersection.	
<b>Legal Description:</b>	Tract B – Barnstorm Second Addition	

**Purpose:** The Concept Review (CR) meeting is to assist you in assessing the overall feasibility of your concept and to provide you with initial guidance in submitting a development review application. The City comments provided at the meeting are based on the information submitted with your CR application and as such, the comments may be general in nature. At the meeting, staff will discuss relevant Code standards and policies, explain City processes, identify potential issues with the concept, and answer specific questions identified in the CR application. Due to the preliminary nature of CR applications, additional comments may be made by City staff once a formal application is submitted to the City.

Information provided by the City for this Concept Review Meeting is valid for 6 months from the date of these review comments. If no formal application(s) is/are filed within this time period, another CR meeting must be scheduled for your project before the City will accept any formal application(s).

**Follow-up Coordination/Assistance:** City staff is available for follow-up assistance on any details of the project and you are welcome and encouraged to schedule a follow-up meeting to present more detailed information for comment on prior to submitting formal applications. Please contact the planner listed below if you would like to discuss the project further.

### City Staff Contact Information

Planning	Transportation	Building
Troy Bliss 970.962.2579 <a href="mailto:Troy.Bliss@cityofloveland.org">Troy.Bliss@cityofloveland.org</a>	Randy Maizland 970.962.2618 <a href="mailto:Randy.Maizland@cityofloveland.org">Randy.Maizland@cityofloveland.org</a>	Steve Hefling 970.962.2508 <a href="mailto:Steve.Hefling@cityofloveland.org">Steve.Hefling@cityofloveland.org</a>
Water/Wastewater	Power	Fire
Melissa Morin 970.962.3709 <a href="mailto:Melissa.Morin@cityofloveland.org">Melissa.Morin@cityofloveland.org</a>	Luis Sandoval 970.962.3705 <a href="mailto:Luis.Sandoval@cityofloveland.org">Luis.Sandoval@cityofloveland.org</a>	Ingrid McMillan-Ernst 970.962.2554 <a href="mailto:Ingrid.McMillan-Ernst@lfra.org">Ingrid.McMillan-Ernst@lfra.org</a>
Stormwater	Parks & Rec	Airport
Suzette Schaff 970.962.2531 <a href="mailto:Suzette.Schaff@cityofloveland.org">Suzette.Schaff@cityofloveland.org</a>	Bryan Harding 970.962.2451 <a href="mailto:Bryan.Harding@cityofloveland.org">Bryan.Harding@cityofloveland.org</a>	Aaron Ehle 970.962.2856 <a href="mailto:Aaron.Ehle@cityofloveland.org">Aaron.Ehle@cityofloveland.org</a>



## Project Scheduling Constraints

**PROJECT REVIEW DELAYED:** The City is currently experiencing a high volume of development applications. With the limited staff resources, projects are being scheduled beyond the City's typical turnaround times for review.

### Land Use Information

Request	Proposed hangar buildings for maintenance and repair of aircraft, particularly helicopters. Additionally, future airplane hangars for general aviation purposes.
Zoning	I – Developing Industrial
Comprehensive Plan Designation	Public/Quasi Public
Existing Agreements	<input type="checkbox"/> Annexation <input type="checkbox"/> Development <input checked="" type="checkbox"/> None
Existing Development Plans	None
Overlay Districts	<input type="checkbox"/> Floodplain <input checked="" type="checkbox"/> Airport <input type="checkbox"/> I-25 Corridor <input type="checkbox"/> None
UDC Designation for Use	With the proposal being located on FNL property, all such uses would be considered under the general Airport and/or Heliport use classifications of the UDC.

### Approval Process & Applications Required

Step	Application	Required/Optional	Description	Approval Process	UDC Reference
1	<b>Civil Construction Plans</b>	Required	Construction drawings for all necessary wastewater, water, stormwater, right-of-way landscaping improvements, and street improvements must be approved before approval of a final plat or site development plan.	Administrative	18.17.02
	<b>Site Development Plan</b>	Required	A specific land use plan required for development. The SDP approves the site plan, landscape plan, building elevations, photometric plans, common open space, recreation and amenity areas, and associated public improvement construction drawings.	Administrative	18.17.11.02
2	<b>Building Permit</b>	Required	Building permits are needed prior to construction or alteration of a building or installation of a sign.	Administrative	Building Code
	<b>Sign Permit</b>	Required (if applicable)	Sign permits are needed prior to any installation or alteration of a sign.	Administrative	18.04.08

<b>Any time after CR</b>	<b>Building Permit Fee Estimate</b>	Encouraged	An estimate of City fees that are assessed with the building permit process can be requested by submitting an Estimate Request Form to the Building Division. A building permit fee estimate is highly encouraged.
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<b>Unified Development Code Standards</b>			
<b>Industrial Zone District</b>			<b>UDC Reference</b>
<b>Land Use</b>	Land use tables describe which land uses are permitted by right (R), limited (L), adaptable (A), and conditional (C). With the Airport being established, all Airport/Heliport related uses are permitted by right, subject to all applicable federal and state regulations that apply to airport expansion.		18.02.03 Table 18.02.03.09
<b>Minimum Lot Area</b>	1 acre		18.04.03
<b>Minimum Lot Width</b>	100 ft.		18.04.03
<b>Building Height</b>	<ul style="list-style-type: none"> <li>Principal Buildings 50 feet</li> <li>Accessory Buildings 40 feet</li> </ul>		Table 18.04.06.01.B
<b>Setbacks (ft.)</b>	Front & Street Side	25	18.04.301.B Table
	Interior Side and Rear	0 (must comply with bufferyards, building and fire codes)	
<b>Parking</b>	Standard Parking	N/A	18.05.03.03
	ADA	Based on the total number of parking spaces provided.	18.05.02.04
<b>Building Design</b>	<ul style="list-style-type: none"> <li>The UDC includes architectural standards related to building design (as applicable).</li> </ul>		18.04.05.04
<b>Airport Use Standards - Noise</b>	<ul style="list-style-type: none"> <li>Noise Impact Assessment required.</li> <li>The 20-year 65 DNL line shall lie completely within airport property or property zoned I that is subject to an easement for noise and aviation.</li> <li>55 DNL for development area.</li> </ul>		18.02.04.09.I

## Concept Review Meeting – Northern Colorado Regional Airport Review

**Project:** Century Helicopters

**Date:** 09/12/2024

**Contact:** Aaron Ehle – 970.962.2856 aaron.ehle@cityofloveland.org

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### Comments:

- a) **FAA Obstruction Evaluation/Airport Airspace Analysis (OE/AAA):** Due to the site’s proximity to Northern Colorado Regional Airport, an obstruction evaluation/airport airspace analysis will be required for temporary (e.g., cranes) or permanent (e.g., buildings) structures. If required, submit form 7460-1 - Notice of Proposed Construction or Alteration, at least 45 days before the start date of proposed construction or alteration. Please visit the Airport’s website for more information:  
<https://www.flynoco.com/airport-development/construction/>.
- b) **Security and Access Control**
  - a. **Badging:** All persons within the Airport Operations Area (AOA) must have display an airport access badge or be escorted per Transportation Security Administration (TSA) requirements. Badging information can be found at: <https://www.flynoco.com/badging/>
  - b. **Security:** Prior to the start of construction, a site security plan must be approved by the Airport.
- c) **Construction**
  - a. **Construction Access Plan:** The contractor/ developer will be required to provide an access plan for construction vehicles accessing the work site approved by Airport staff
  - b. **Storm water & Erosion Control:** The contractor will be required to adhere to all erosion control and storm water regulatory standards for the City of Loveland
  - c. **Site:** The construction site must be maintained and clear of any trash or debris that could impact the safe passage of aircraft on the adjacent taxiway. Any materials that are to be located outside of the construction site must be approved by Airport staff.

## Transportation Comments

<b>Project</b>	Airport - Site C	<b>Date:</b> 9/12/2024
<b>Reviewer</b>	Adam Zagaro, 970.962.2723, <a href="mailto:Adam.Zagaro@cityofloveland.org">Adam.Zagaro@cityofloveland.org</a>	
<b>Larimer County Urban Area Street Standards</b>	<p>The property will need to be developed in accordance with the Larimer County Urban Area Street Standards (LCUASS) &amp; all subsequent updates (<a href="https://www.larimer.org/urban-area-street-standards-2021">https://www.larimer.org/urban-area-street-standards-2021</a>).</p> <p>Developers that intend to provide a design element(s) that does not conform to these standards will be required to submit a request per LCAUSS 1.9.4 which is to be reviewed by the Local Entity Engineer. The written request for each variance should be submitted concurrently with the first submittal of Final Plans. For Design Variances that could have a more substantial impact to the site design, Transportation recommends requesting approval prior to the first submittal.</p>	
<b>Adequate Community Facility (ACF)</b>	<p>The property will need to be developed in accordance with the City's Adequate Community Facility (ACF) Ordinance (<a href="https://online.encodeplus.com/regs/loveland-co/doc-viewer.aspx?secid=4444#secid-4444">https://online.encodeplus.com/regs/loveland-co/doc-viewer.aspx?secid=4444#secid-4444</a>)</p>	
<b>Applications and Checklists</b>	<p>The most up to date development applications and checklists can be found at <a href="https://www.lovgov.org/services/development-services/current-planning/applications-fees-3443">https://www.lovgov.org/services/development-services/current-planning/applications-fees-3443</a></p>	
<b>Traffic Impact Study</b>	<p>A Traffic Impact Study (TIS) will need to be provided. The level of analysis required will be determined at a scoping meeting with Transportation Development staff.</p>	
<b>Site Access, Connectivity and Improvement Obligations</b>	<ul style="list-style-type: none"> <li>• The applicant will have an option to extend Rickenbacker Rd. and/or Rockwell Ave. as either public roads or private drives.</li> <li>• If the public road option is chosen, then ROW will need to be dedicated for each road and they must be designed and built to LCUASS standards. A turnaround at the end of each road extension will also need to be constructed meeting LCUASS standards.</li> <li>• If the private drive option is chosen, access easements will need to be dedicated to allow access to the site. Any gates will need to be set back 50 feet from the flowline at the intersection of Rockwell and Rickenbacker.</li> <li>• Off-site improvements, if any, will be determined by the findings and conclusions of the City approved TIS.</li> </ul>	
<b>Capital Expansion Fees</b>	<p>Transportation strongly recommends that you obtain a fee estimate from the Building Division before proceeding with development applications.</p>	

<b>FIRE Comments</b>		
<b>Project</b>	Century Helicopter	<b>Date:</b> 9/12/2024
<b>Reviewer</b>	Ingrid McMillan-Ernst, 970.962.2554, <a href="mailto:Ingrid.McMillan-Ernst@LFRA.org">Ingrid.McMillan-Ernst@LFRA.org</a>	
<b>Codes</b>	The requirements of the 2021 I-Codes and current NFPA standards must be met. After planning approval, the applicant must submit plans for review and approval of a building permit. The plans shall be prepared by a licensed design professional.	
<b>Project Description</b>	Hangars for storage, use, repairs and maintenance on an existing vacant site.	
<b>Loveland Fire Rescue Authority Website</b>	Development and permitting requirements can be found through the Community Safety Division tab at <a href="http://www.LFRA.org">www.LFRA.org</a>	
<b>Access</b>	<ul style="list-style-type: none"> <li>• Two points of sustained vehicular access must be provided to each development at all phases.</li> <li>• To be considered within access for emergency vehicles, all portions of the first-floor exterior of a structure shall be within 150 feet ( 300' for buildings with fire sprinkler system) of a public roadway or approved fire apparatus access road.</li> <li>• For Private Drives, an approved Emergency Access Easement must be dedicated on a PLAT or by separate document. The EAE must be of an approved width, an all-weather surface, capable of supporting 40 tons, designated by approved signage, maintained in an approved condition by the owner, and maintained unobstructed at all times, with “No Parking Fire Lane” signs at approved locations.</li> <li>• Turning radii shall be: 25' inside / 50' outside diameter.</li> <li>• If the buildings exceed 30' in height, the minimum width access road shall be 26' clear along a long side (no closer than 15' and no further than 30' from building).</li> <li>• Buildings located at end of cul de sacs that are longer than 660' shall be required to be sprinklered.</li> <li>• Dead-end roads (cul-de-sacs) are not allowed longer than 1,000 feet long.</li> <li>• Gates shall be approved and min 20' wide with electronic Knox Key switch.</li> </ul>	
<b>Sprinkler/ Alarm</b>	<p>Sprinklers/ Alarms – required per current code - as determined by the licensed design professional:</p> <ul style="list-style-type: none"> <li>• Separate Permits are required for underground firelines</li> <li>• The fire sprinkler system shall be monitored (fire alarm panel).</li> <li>• Separate permit(s) are required for the installation of any type of fire-protection system. Plans, calculations and specification sheets prepared and stamped by a professional engineer shall be electronically submitted to Loveland Fire Rescue Authority Community Safety Division for review and approval.</li> </ul>	
<b>Hydrants</b>	<ul style="list-style-type: none"> <li>• Hydrant placement shall meet the following criteria with distances measured by vehicular travel path: Commercial/multi-family – 400 feet to all parts of a structure, with 350-foot spacing. Number of hydrants shall be as specified in the adopted International Fire Code.</li> <li>• Fire flow requirements are based on building construction type and square footage. Fire flow requirements determine how many hydrants are required.</li> </ul>	

	<ul style="list-style-type: none"> <li>• All hydrants shall be in place and operational prior to any combustible material being brought on site.</li> <li>• An approved hydrant shall be within 150 feet of vehicular travel to the FDC (fire department connection for sprinklered buildings). The FDC shall be located at the front of the building, and FDC location shall be labelled on the building on the site plan.</li> <li>• Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.</li> </ul>
<b>Fire Flow</b>	<p>The minimum fire flow and flow duration for commercial buildings shall be as specified in the adopted fire code.</p> <ul style="list-style-type: none"> <li>• For commercial or multi-family dwellings, a reduction in required fire flow of up to 75 percent is allowed when building is provided with an approved automatic fire-sprinkler system; however, the resulting fire flow shall not be less than 1,500 GPM at 20 psi.</li> </ul>
<b>Hazardous Materials</b>	<p>Permits shall include a full code analysis and include a hazardous materials inventory summary sheet (obtained from LFRA website) for use of and stored chemicals and compressed gasses, where occur.</p>
<b>Addressing</b>	<ul style="list-style-type: none"> <li>• An approved address shall be visible from the side of the building off of which it is addressed. Address numerals may be required to be installed on more than one side of the building, and the street name may also be required to be installed. Minimum numeral size is contingent on square footage of the building.</li> </ul>
<b>Hangar Notes:</b>	<ul style="list-style-type: none"> <li>• Hangars shall meet the requirements of 2021 IFC and most current edition of NFPA 409.</li> <li>• An Alternate means request letter shall be submitted to Fire Marshal Carie Dann for not having foam suppression.</li> <li>• A bypass system will be required per NFPA 409 5.11.2.11. Depending upon design, above ground tank, underground tank or dispersal to detention could impact site design.</li> <li>• Clear space around hangar on site shall be per NFPA 409 table 409.8</li> </ul>
<b>NOTE:</b>	<p>As of March 15, 2024, all submittals will require a separate Site Plan Fire Dept Review Fee, and a separate Building Permit Fire Dept. Plan Review Fee.</p>

## Building Comments

<b>Project</b>	Reach Air/ Century Helicopter	<b>Date:9/12/24</b>
<b>Reviewer</b>	Steve Hefling <a href="mailto:steve.hefling@cityofloveland.org">steve.hefling@cityofloveland.org</a> Office-970-962-2508	
<b>Building Permit(s) Required</b>	<ul style="list-style-type: none"> <li>• This project will be reviewed under the 2021 I-Codes. Accessibility guidelines in chapter 11 of the IBC, will refer to the ICC A117.1 <b>2017</b>.</li> <li>• The building division offers pre-submittal meetings prior to submitting for permit. <u>Pre-submittal meetings are not required in order to submit for permit, the intent is to assist projects that are struggling with code compliance.</u></li> <li>• A demolition permit is required for the deconstruction of any onsite structures.</li> </ul>	
<b>Contractor Requirements</b>	<p>All work is to be performed by licensed contractors who must hold or obtain a contractor's license with the City of Loveland. This includes the General Contractor (Class A or B), Electrical, Mechanical and Plumbing contractors. Contractor license applications can be found on our website:</p> <p><a href="https://www.cityofloveland.org/services/development-services/building-division/contractor-licensing">https://www.cityofloveland.org/services/development-services/building-division/contractor-licensing</a></p>	
<b>Permit Review Timeframes</b>	<p>Commercial projects are currently at a 20 business day initial review period, which begins after the project has been accepted through our check in process and after the plan check fee has been paid to the Building Division. The plan check fee will be calculated by the Building Division and sent to the contact/owner/contractor listed on the permit application once the project is accepted through the check in process. Additional rounds of review (if necessary) are currently at 10 business days.</p>	
<b>Electronic Submittal Process</b>	<ul style="list-style-type: none"> <li>• All reviews are done electronically; please fill out the applicable permit application and other required forms under the project type section located here: <a href="https://www.cityofloveland.org/services/development-services/building-division/forms-and-applications/non-residential-and-multi-family-forms">https://www.cityofloveland.org/services/development-services/building-division/forms-and-applications/non-residential-and-multi-family-forms</a></li> <li>• All forms, application and stamped architectural drawings are to be submitted to <a href="mailto:eplan-building@cityofloveland.org">eplan-building@cityofloveland.org</a> for the next available check in date. All projects go through our check in process, which is a cursory review of the documents by the Plan reviewers. Check in is conducted every day, Monday through Friday excluding major holidays.</li> </ul>	
<b>Plan Design Requirements</b>	<ul style="list-style-type: none"> <li>• A State of Colorado, licensed Registered Design Professional will need to prepare all plans for submittal (architect or engineer) to include a complete Code Analysis for the type of occupancies, area, occupancy separations, occupant load, building construction type and Energy code compliance information. Licensed engineers will be required to prepare mechanical, electrical and plumbing drawings.</li> <li>• A complete code analysis for the Loveland Design Criteria for wind, roof snow, ground snow, etc.is also required with the submittal. These design criteria can be found here: <a href="https://www.cityofloveland.org/services/development-">https://www.cityofloveland.org/services/development-</a></li> </ul>	

	<p><a href="#">services/building-division/maps-graphs</a></p> <ul style="list-style-type: none"> <li>• Property line setbacks will determine requirements for fire rated wall assemblies and penetrations/openings.</li> <li>• Accessibility requirements shall be met both for the building and the site per IBC Chapter 11 and 2017 A117.1.</li> </ul>
<p><b>Estimate Request Form</b></p>	<p>It is highly recommended to submit an estimate request form to receive an estimate of building permit fees, water tap fees, and capital expansion costs. Electrical design costs and water rights are not included on the estimate as they are not collected on the building permit.</p> <p>The form can be found here:  <a href="https://www.cityofloveland.org/services/development-services/building-division/fees">https://www.cityofloveland.org/services/development-services/building-division/fees</a></p>
<p><b>Concerns/ Answers to concept Application</b></p>	







**FORT COLLINS-LOVELAND WATER DISTRICT**

**5150 Snead Dr., Fort Collins, CO 80525**

**Phone 970.226.3104**

**[www.fclwd.com](http://www.fclwd.com)**

September 10, 2024

RE: Century Helicopter/Reach – Concept Review

To whom it may concern:

The Fort Collins-Loveland Water District (FCLWD) has reviewed your Concept Review application for the Century Helicopter/Reach project on Site C at the Northern Colorado Airport and have the following comments:

1. The proposed project area is within the current service area of the Fort Collins-Loveland Water District.
2. In the spring of 2024, a 24” Fusible PVC (FPVC) waterline was installed along the edge of the airport property (See attached as-builts for location). The water line in the vicinity of Site C stubbed some 8” lines to the south. These stubs currently terminate in a fire hydrant (FH), but they are intended to be points where the water line can be extended to facilitate future development. Any connection to the 24” water line must be made through these stubs. The 24” FPVC line may NOT be tapped.
3. A waterline will need to be looped through your site while planning for connection points for future development within the airport.
4. The nearest FHs are only temporary and therefore the project will need to plan on including FHs in the waterline system that is built through your site..
5. If a fire service line is needed for your proposed building, this line will need to tap originate from the waterline system that is built through your site.
6. As your development moves forward, we can coordinate further on a fire hydrant flow test or additional hydraulic modeling data if needed. If it is determined that a new hydrant is required for the future expansion, the maximum dead-end length is 250 feet.
7. Customers need to install, test and maintain approved backflow prevention assemblies as required by FCLWD’s Cross-Connection Control Manual.

FCLWD has Standard Construction Specifications that are posted on the District’s website at [www.FCLWD.com](http://www.FCLWD.com), along with our tap fee schedules and application forms. Please contact me at [slowe@FCLWD.com](mailto:slowe@FCLWD.com) or at the phone number below if you have any further questions.

Sincerely,

A handwritten signature in black ink that reads "Sam J. Lowe".

Sam Lowe, PE

*Civil Engineer 3*

970.226.3104 Ext. 113

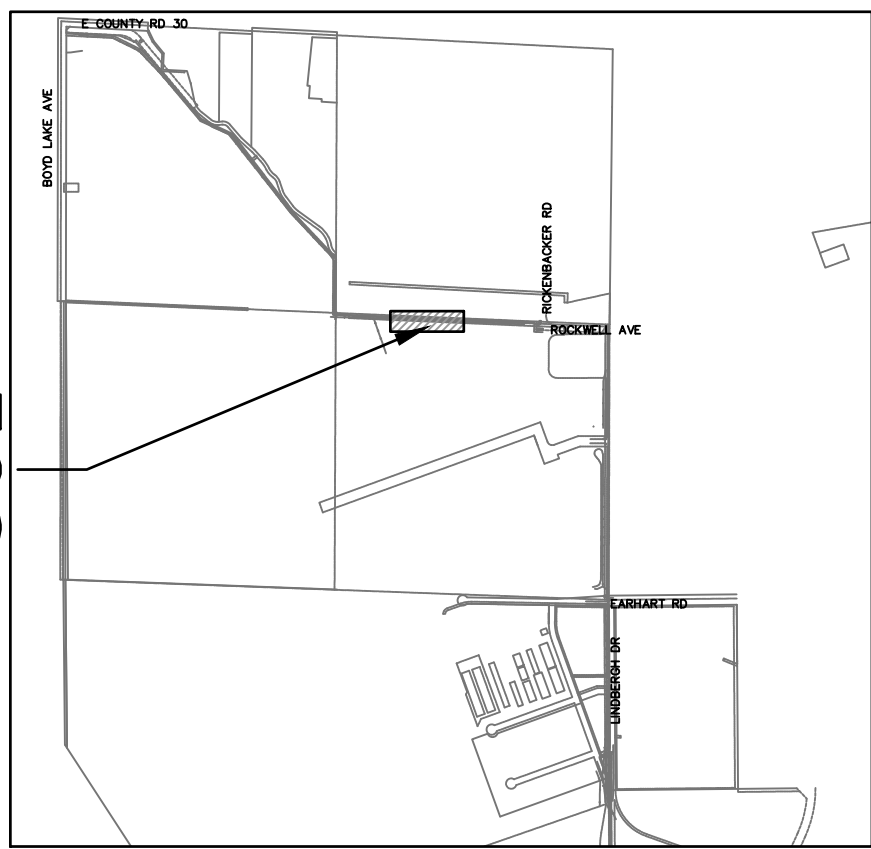
*Fort Collins-Loveland Water District*



PIC C4.9 A

**LEGEND**

- ✕ - SURVEY SHOT
- - WATER LINE SURVEY SHOT
- W — DESIGNED WATERLINE
- AS CONSTRUCTED
- - AIR RELEASE VAULT
- ✕ - VALVE
- ▶ - REDUCER
- - HYDRANT
- WATERLINE



KEYMAP  
N.T.S.

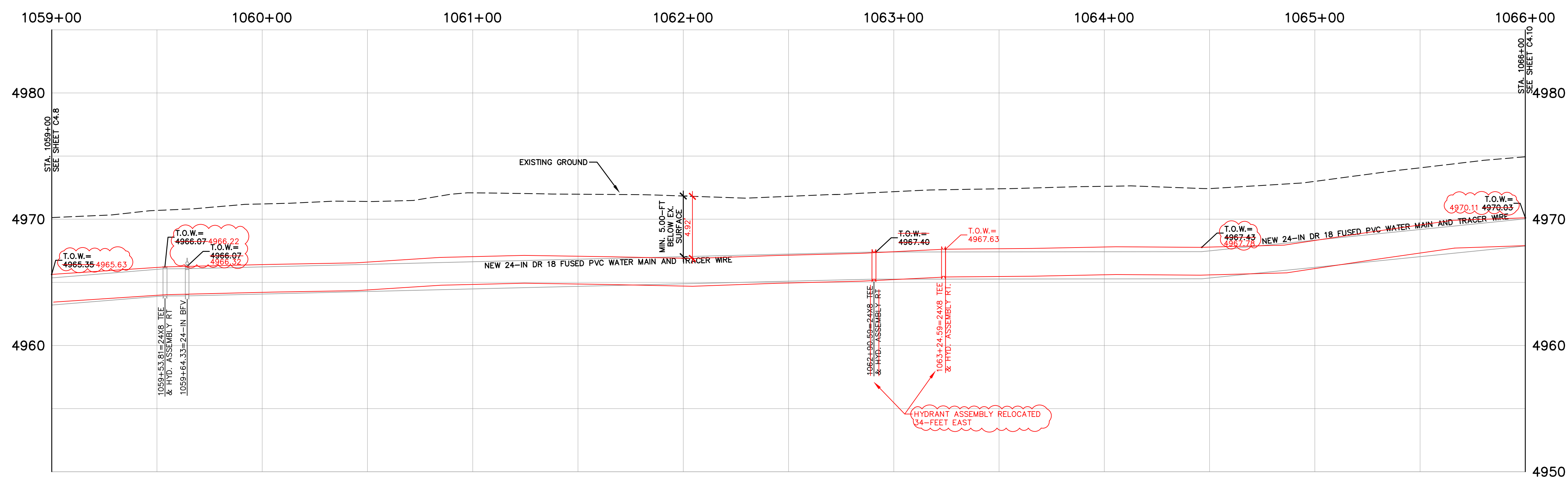
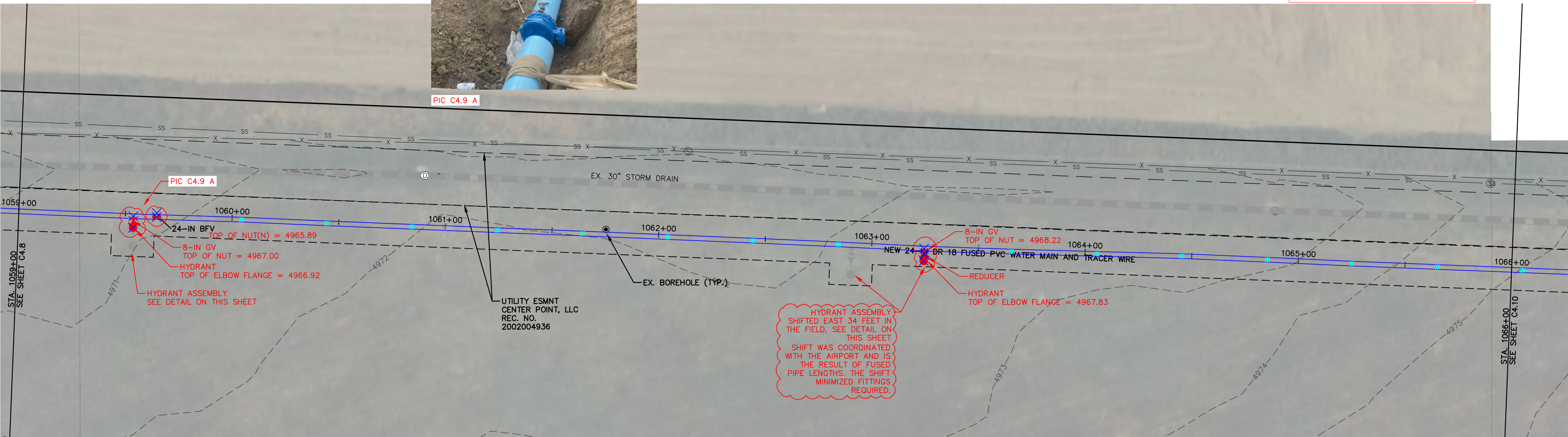


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VERTICAL SCALE: 1" = 5'

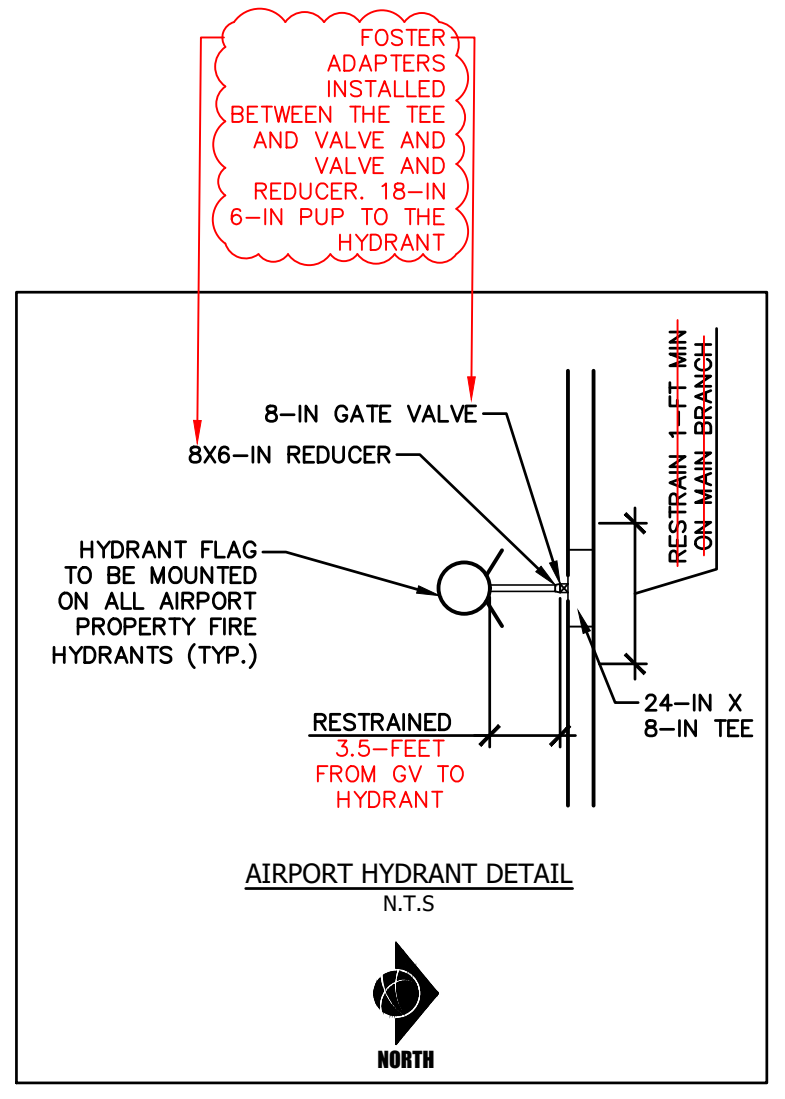
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**NOTES:**

1. ALIGNMENT IS BASED OFF CENTER OF PIPE ON THE 24-INCH TRANSMISSION MAIN.
2. STATION AND OFFSET INFORMATION BASED ON WATER MAIN ALIGNMENT.
3. 24-INCH SUCTION MAIN IS 10-FT OFF THE CENTER OF THE 24-INCH TRANSMISSION MAIN. SUCTION MAIN SHALL FOLLOW THE VERTICAL ALIGNMENT OF THE TRANSMISSION MAIN.
4. CONTRACTOR TO MAINTAIN 10-FT HORIZONTAL AND 18-IN VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
5. WATER LINE TO BE BURIED AT TYPICAL DEPTH OF 5-FT TO TOP OF PIPE (T.O.W.), WITH A MAXIMUM BURY DEPTH OF 6-FT TO TOP OF PIPE, UNLESS OTHERWISE STATED ON PROFILE VIEW.
6. UTILITY CROSSINGS SHALL MAINTAIN 18-IN OF VERTICAL SEPARATION, UNLESS OTHERWISE NOTED.
7. ALL BELL AND SPIGOT PIPE FITTINGS AND VALVES SHALL BE RESTRAINED BY MECHANICAL JOINTS.
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9. JOINT RESTRAINT LOCATIONS AND LENGTHS ARE PROVIDED ON THE FUSED PVC PIPE FITTINGS. CONTRACTOR SHALL DETERMINE IN THE FIELD WHICH BENDS AND MECHANICAL RESTRAINTS WILL BE NEEDED.
10. CONTRACTOR SHALL BE REQUIRED TO STAY WITHIN THE CONSTRUCTION EASEMENTS WHEN CONSTRUCTING THE PIPELINE.



**RECORD DRAWING**  
DATE: 7/31/2024



**RECORD DRAWINGS**

**FCLWD TRANSMISSION MAIN**  
AIRPORT TRANSMISSION MAIN (PHASE I)  
FINAL DESIGN  
FORT COLLINS, CO



Enduring Community Design

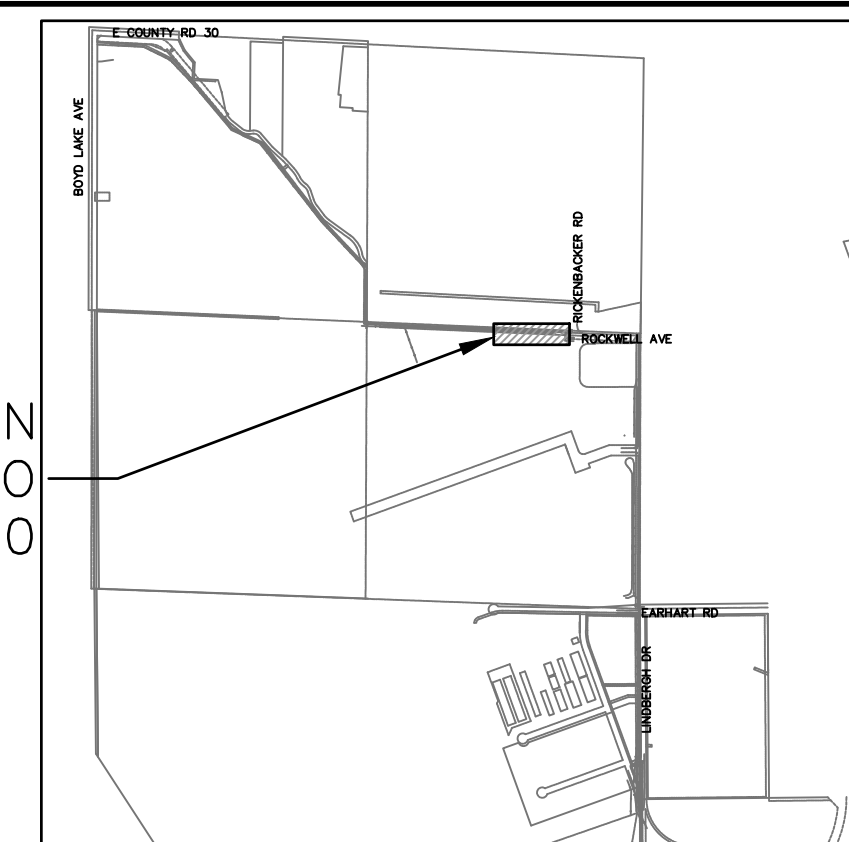
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3/4/24	CFP RESUBMITTAL
4/23/24	ISSUED FOR CONSTRUCTION
7/31/24	RECORD DRAWINGS

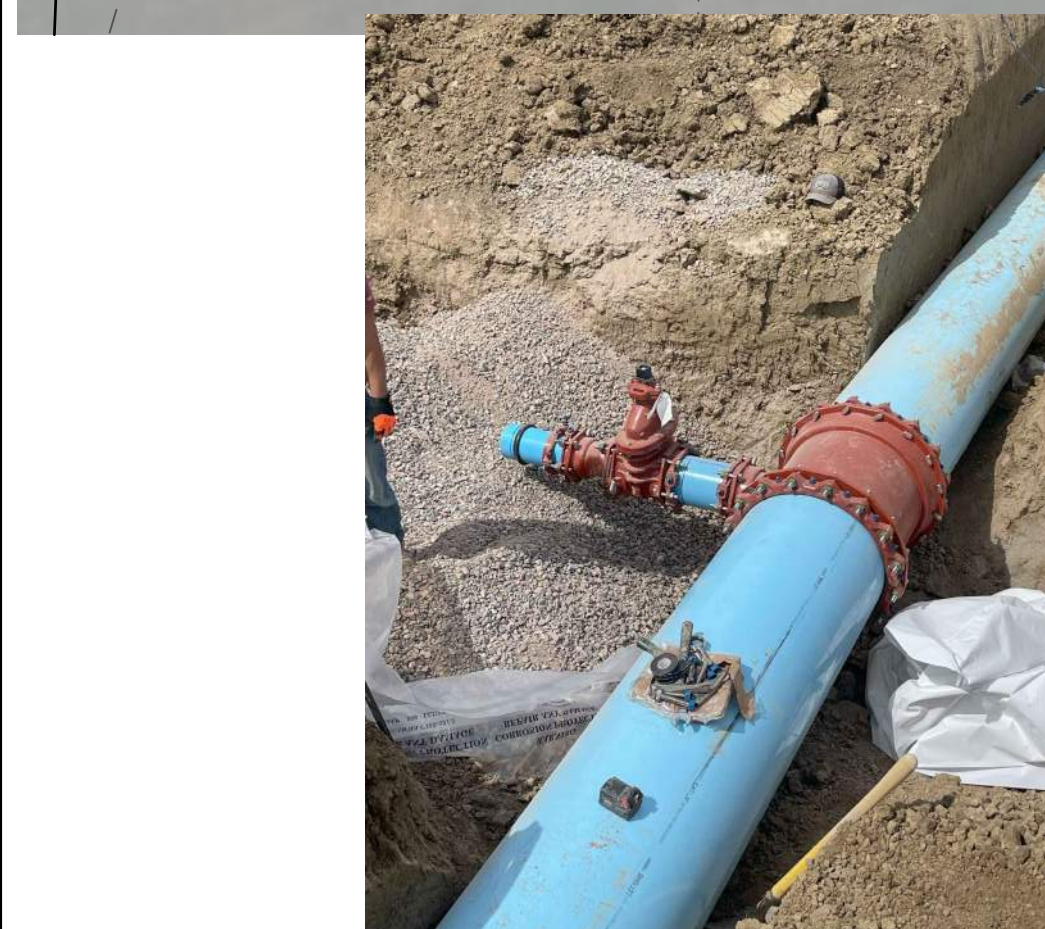
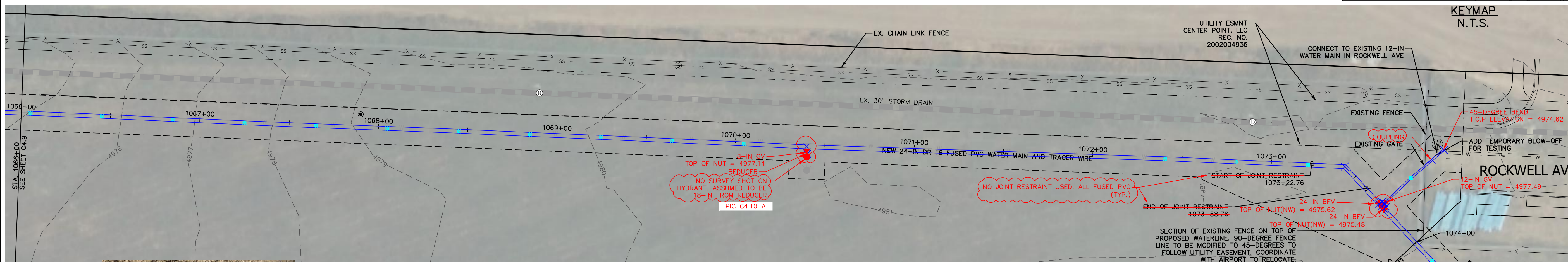
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PROJECT NO.:	21072.02
CAD:	RFS
QUALITY ASSURANCE:	JET

WATER MAIN PLAN AND PROFILE - STA. 1059+00 TO 1066+00

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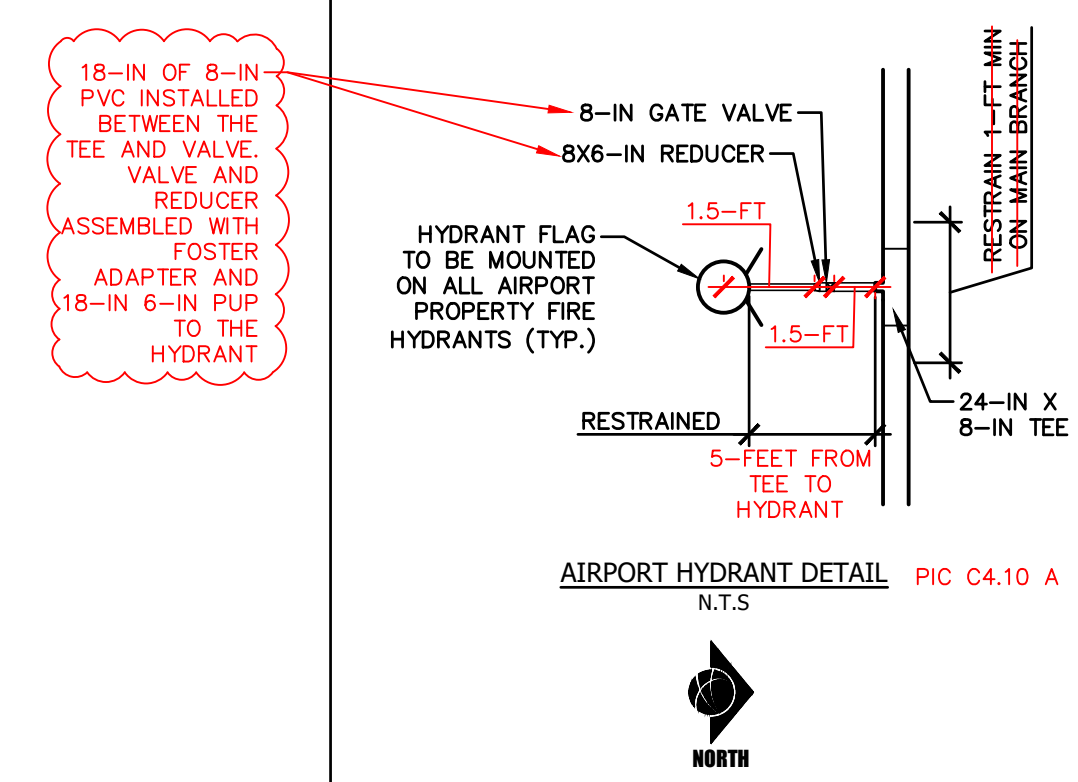
WATER MAIN  
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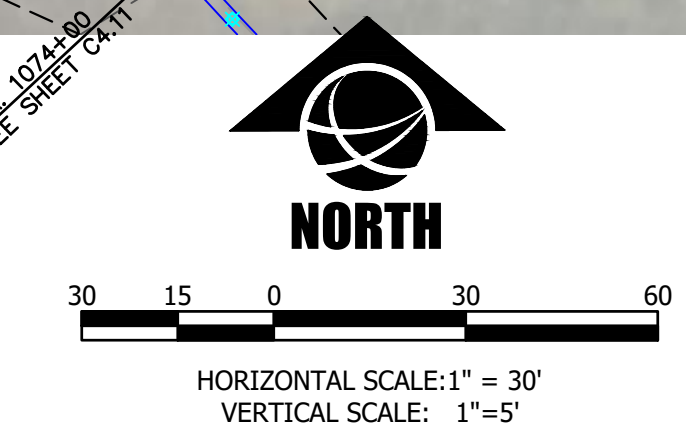
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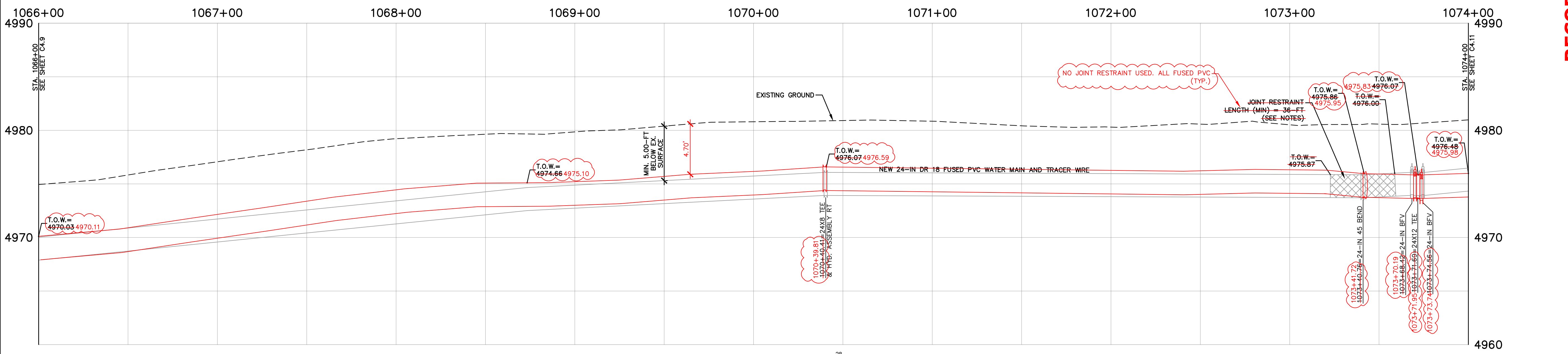
- ✕ - SURVEY SHOT
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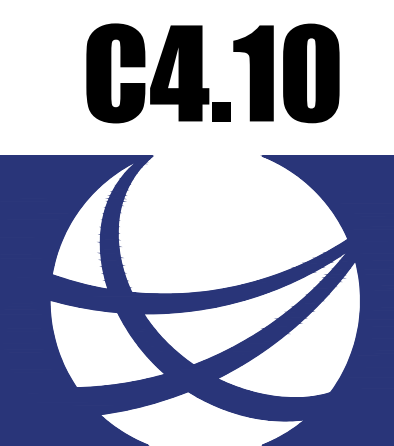


**RECORD DRAWING**  
DATE: 7/31/2024



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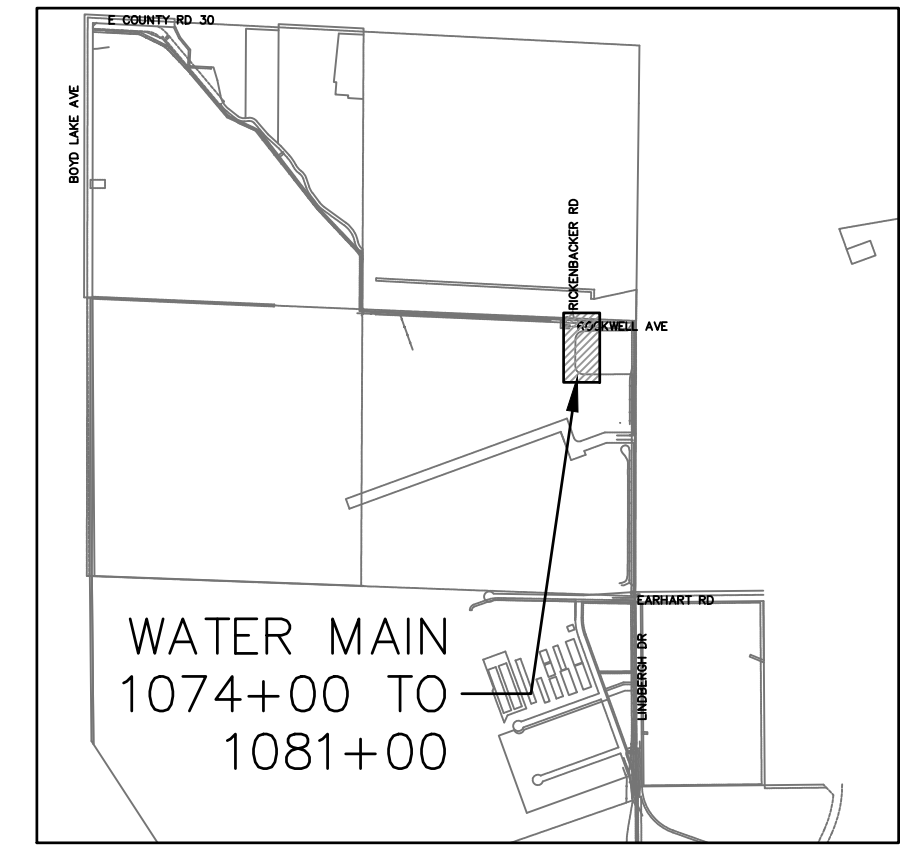
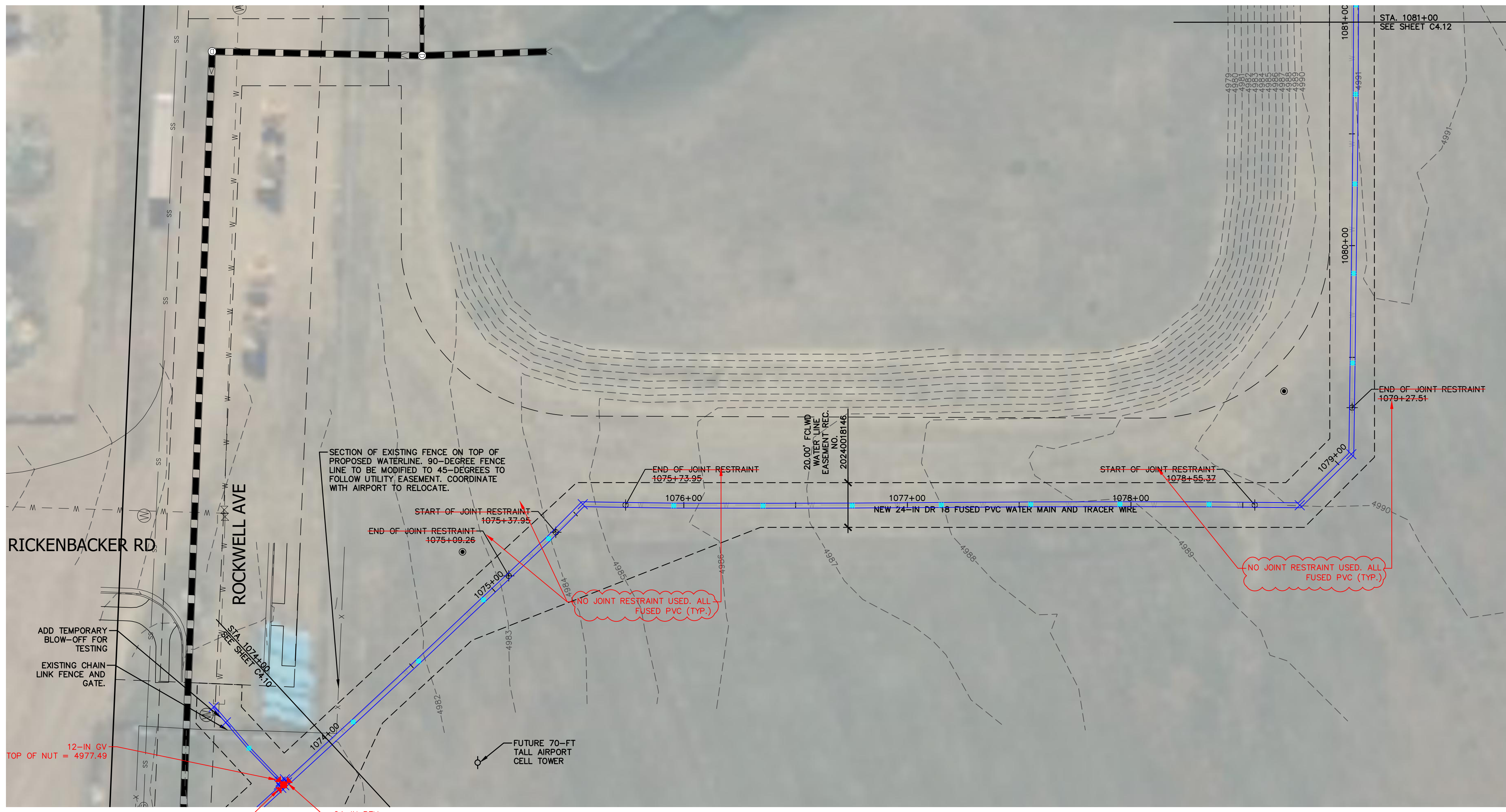
**DRAWING HISTORY**

DATE	DESCRIPTION
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3/4/24	CFP SUBMITTAL
4/23/24	ISSUED FOR CONSTRUCTION
7/31/24	RECORD DRAWINGS

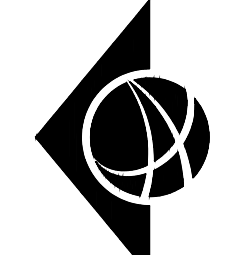
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PROJECT NO: 21072.02  
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QUALITY ASSURANCE: JET

WATER MAIN PLAN AND PROFILE - STA. 1066+00 TO 1074+00

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KEYMAP  
N.T.S.

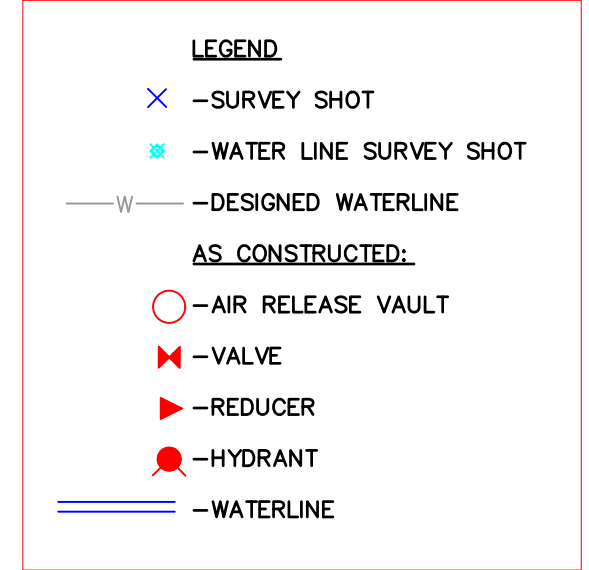
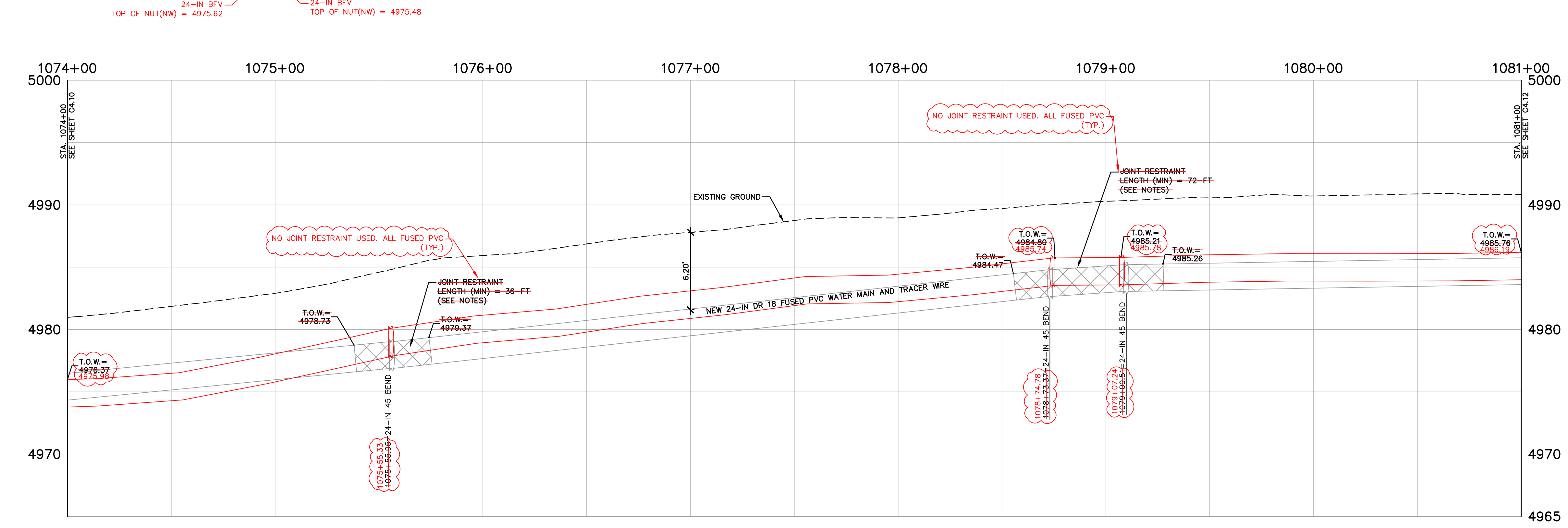


HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 5'

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RECORD DRAWING  
DATE: 7/31/2024

RECORD DRAWINGS

DRAWING HISTORY	
DATE	DESCRIPTION
12/14/23	ICE ORIENTATION
12/21/23	CFP SUBMITTAL
3/4/24	CFP SUBMITTAL
4/23/24	ISSUED FOR CONSTRUCTION
7/31/24	RECORD DRAWINGS

FILE:	21072_02_PWP_AIRPORT_MAIN_PROJ24_AS-BUILDINGS
PROJECT NO.:	21072.02
CAD:	RFS
QUALITY ASSURANCE:	JET

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**SOUTH FORT COLLINS SANITATION DISTRICT**

**2560 E County Rd 32, Fort Collins, CO 80528**

**Phone 970.226.2484**

**[www.sfcasd.net](http://www.sfcasd.net)**

September 11, 2024

Ben Doud  
Doud BTS  
25528 Genesee Trail Road  
Golden, CO, 80401

RE: Concept Review – REACH Air/Century Helicopter (KFNL Site C)

Dear Ben:

The South Fort Collins Sanitation District has reviewed your Concept Review application for the development at KFNL Site C in the Barnstorm 2<sup>nd</sup> Subdivision and have the following comments.

1. The proposed project area is within the current service area of the South Fort Collins Sanitation District. It is our intent to provide gravity wastewater collection service to this area.
2. There is currently a 10” PVC main running along the northern edge of your property and an 8” PVC main running along the west edge of your property that are available for use. See attached utility map.
3. SFCSD’s tap fee schedule can be found at [sfcasd.net](http://sfcasd.net).
4. SFCSD requires all commercial developments to submit a Wastewater Pre-Treatment Questionnaire to determine if the development will require any pretreatment facilities. The questionnaire has been attached (and can be found on the District’s website). Contact SFCSD at [Industrialpretreatment@sfcasd.net](mailto:Industrialpretreatment@sfcasd.net) for additional pre-treatment questions and information.
5. As the development moves forward, please submit building plumbing plans directly to the SFCSD Industrial Pretreatment department at [Industrialpretreatment@sfcasd.net](mailto:Industrialpretreatment@sfcasd.net).

SFCSD has Standard Construction Specifications that are posted on the district website at [www.sfcasd.net](http://www.sfcasd.net), along with our tap fee schedules and application forms. Please contact me at [rkenyon@sfcasd.net](mailto:rkenyon@sfcasd.net) or at the phone number below if you have any further questions.

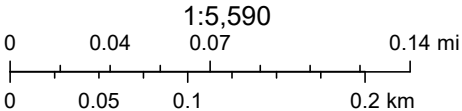
Sincerely,

Randy Kenyon, PE, PMP  
*District Engineer*  
970.792.5981  
*South Fort Collins Sanitation District*

# Engineering GIS Portal



9/11/2024



Esri Community Maps Contributors, City of Loveland, County of Larimer, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,

Loveland Power & Communications Comments		
<b>Project</b>	FNL Airport Site C	<b>Date:</b> 9/12/2024
<b>Reviewer</b>	Tyler Groce - (970) 962-3544 - <a href="mailto:Tyler.Groce@cityofloveland.org">Tyler.Groce@cityofloveland.org</a>	
<b>Requirements for Electric Service (RFES)</b>	All work performed for the project must comply with the current, adopted version of the City of Loveland Water and Power Requirements for Electric Service (RFES). A copy of the RFES is available on the City's website at: <a href="http://www.lovgov.org/res">www.lovgov.org/res</a>	
<b>Project Location, Power Details</b>	<p>The proposed project is located at the Norther Colorado Regional Airport site C which is SW of the intersection of Rockwell Ave and Rickenbacker Rd. Existing three phase power is available in the underground electric vault adjacent to the property. As stated in Section 4 of the Requirements for Electric Service (RFES), electrical service to the lot will need to be installed underground along with all necessary easements provided for primary electric lines (10' wide centered on primary line) and transformer location (15' x 15' centered on transformer pad). Depending on the width of the drive entering the property, and whether it is public or private, it may conflict with the vault which may need to be relocated. Please refer to the RFES Section 4 for more information regarding commercial and industrial services.</p> <p>Please coordinate with us early for a preliminary power layout and ensure that all existing and proposed electric lines and equipment are located and shown on the first submittal of any site development plan (SDP) or civil construction plans (CCP) to avoid extra rounds of review.</p>	
<b>Important Material Notes</b>	<p>Due to unprecedented market conditions and global supply chain disruptions, necessary electric utility material costs and availability are unpredictable and may fluctuate significantly between the time of estimate and project construction. While transformers are being proactively ordered and the City has implemented measures to supplement its transformer inventory from diversified sources, shipping estimates from manufacturers are <b>currently up to two years</b>. The City will allocate transformers upon permanent meter set inspection approval on a "first come, first served" basis if available and at its sole discretion. Per Municipal Code, the applicant will be billed on actual costs in effect at the time of construction.</p> <p>While the City is optimistic the steps taken will ensure adequate supply to meet development demands, <b>at this time, the City of Loveland Water &amp; Power Department cannot guarantee the availability of required transformers for your construction project when ready for transformer installation.</b> Per Municipal Code, the City is not responsible for costs to the developer for any delays of completion caused by transformer shortages or any other utility material availability issue. By continuing with your project, you acknowledge that the City's electric utility may not have available all required materials, including electrical transformers, required for completion of the project. The availability of materials may impact and delay construction schedules and project completion dates. Proceeding with construction is at your own risk.</p> <p>These conditions are anticipated to continue for the foreseeable future, so the City appreciates their customers' understanding and cooperation as we work together through these difficult times.</p> <p>The <b>lead times for certain types of metering equipment</b> can also be very long, and it is the developer's responsibility to source and purchase the correct gear. To help avoid potential construction delays, it is highly encouraged that you contact Matt Sadar (metering supervisor for Loveland Water &amp; Power) very early in the process to ensure that the right equipment is being specified and ordered as soon as possible. Matt can be reached at: <a href="mailto:matt.sadar@cityofloveland.org">matt.sadar@cityofloveland.org</a> 970-962-3582</p>	
<b>Electric Distribution System Costs</b>	<ul style="list-style-type: none"> <li>• The customer shall be responsible for all costs associated with the design, material, and construction of the electrical distribution system internal to the development.</li> <li>• Any costs associated with the upgrading, removal, relocation, raising, or lowering of existing underground and overhead electric lines and facilities shall be the responsibility of the customer.</li> <li>• The customer shall be responsible for their portion of the costs for extension or expansion of the electrical distribution system necessary to serve their development.</li> </ul>	




<b>Easements on City Projects</b>	For projects on airport property, all necessary easements must be dedicated by separate instrument as public utility easements.
<b>New or Upgraded Commercial Service</b> (RFES Section 4)	For a new or upgraded electric service on a commercial project, requirements include: <ul style="list-style-type: none"> <li>• A \$1,680 distribution design deposit</li> <li>• Electrical Service Worksheet</li> <li>• Stamped electrical one-line diagram, panel schedules, load calculations</li> <li>• Elevation drawing detailing location of service entrance equipment on building with horizontal and vertical clearances shown from ground level, windows, doors, other utilities, etc.</li> <li>• Plat and current site improvement/utility plans</li> <li>• AutoCAD base drawing file (dwg) that shows all existing and proposed utilities, easements and property lines. All X-ref's must be bound to the base drawing.</li> <li>• Cut sheets of meter gear/service entrance equipment</li> </ul>
<b>Contractor Qualification for Substructure Installation</b> (RFES Section 1.8)	<ul style="list-style-type: none"> <li>• The customer is responsible for hiring a contractor at their cost to install all new substructure, relocating existing substructure if necessary, and prepping the transformer location.</li> <li>• The contractor's on-site Foreman will be required to attend a qualification meeting conducted by the Power Distribution Designer assigned to the project prior to scheduling a pre-construction meeting.</li> <li>• The contractor shall guarantee the construction equipment, materials and workmanship furnished to be as specified and to be free from defects for a period of 2 years after the date of final acceptance by the City.</li> </ul>
<b>Substructure Material</b> (RFES Section 1.8)	All material must be supplied by the Loveland Power Division including materials for street crossings. Failure to use Loveland Power Division supplied material may result in substructure not being accepted, and replacement will be at the customer's cost.
<b>Pre-Construction Meeting</b> (RFES Section 1.8)	No substructure, including street crossings, shall be installed prior to a pre-construction meeting held by the Electric Distribution Designer.
<b>Utility Easement Requirements</b> (RFES Section 1.10)	Utility Easements will be required for transformers, conduit, and any required electrical facilities. <ul style="list-style-type: none"> <li>• The easement documents must be recorded before the service is energized.</li> <li>• The customer shall be responsible for coordination of the utilities located within the provided easements concerning enforcing clearance requirements and eliminating conflicts between each residing entity. The more stringent utility clearance requirements take precedence.</li> </ul>
<b>Electrical Equipment Clearances</b> (RFES Section 8)	Minimum clearance to underground power lines, overhead power lines and service drops, as required by the RES, NESC, NEC or other code, must be maintained at all times – both during and after construction. The customer is responsible for all costs associated with the temporary or permanent reconfiguration of power lines and service drops impacted by their project.
<b>Customer Relations: Electric Rates, Assessments, Rebates</b>	Water & Power Customer Relations: 970-962-3710 <ul style="list-style-type: none"> <li>• For information regarding electric rates, please call Water and Power Customer Relations</li> <li>• If you are looking for facility assessments, efficiency rebates, or you want to find a contractor, please follow the link to: <a href="http://www.encyworks.org/">http://www.encyworks.org/</a></li> </ul>
<b>Broadband Information</b>	<ul style="list-style-type: none"> <li>• Pulse delivers multi-gigabit Internet, WiFi, TV, and Voice services to Loveland and surrounding areas. Established in 2018 with a mission to make high-speed internet available to every home and business in Loveland, Pulse has built the fastest, most reliable fiber network available locally. As a community-owned utility focused on service and technology, Pulse has quickly become an award-winning offering with a Net Promoter Score (NPS) 17 times higher than the national average and any other provider in northern Colorado. Visit <a href="http://LovelandPulse.com">LovelandPulse.com</a> to learn more.</li> <li>• Pulse fiber substructure will be designed by Pulse and installed alongside Power. Pulse will pay all costs associated with the design, materials and installation of the fiber substructure. For installation, you have the choice of using your contractor or having Pulse use their contractor. For additional information please contact 970-962-3534.</li> </ul>

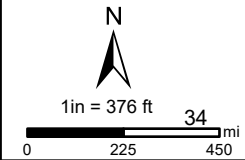


Existing primary electric vault

If 2023 imagery is present - Imagery copyright Vexcel data



**Loveland Water and Power**  
**Utility Map**  
 Date Created: 9/6/2024

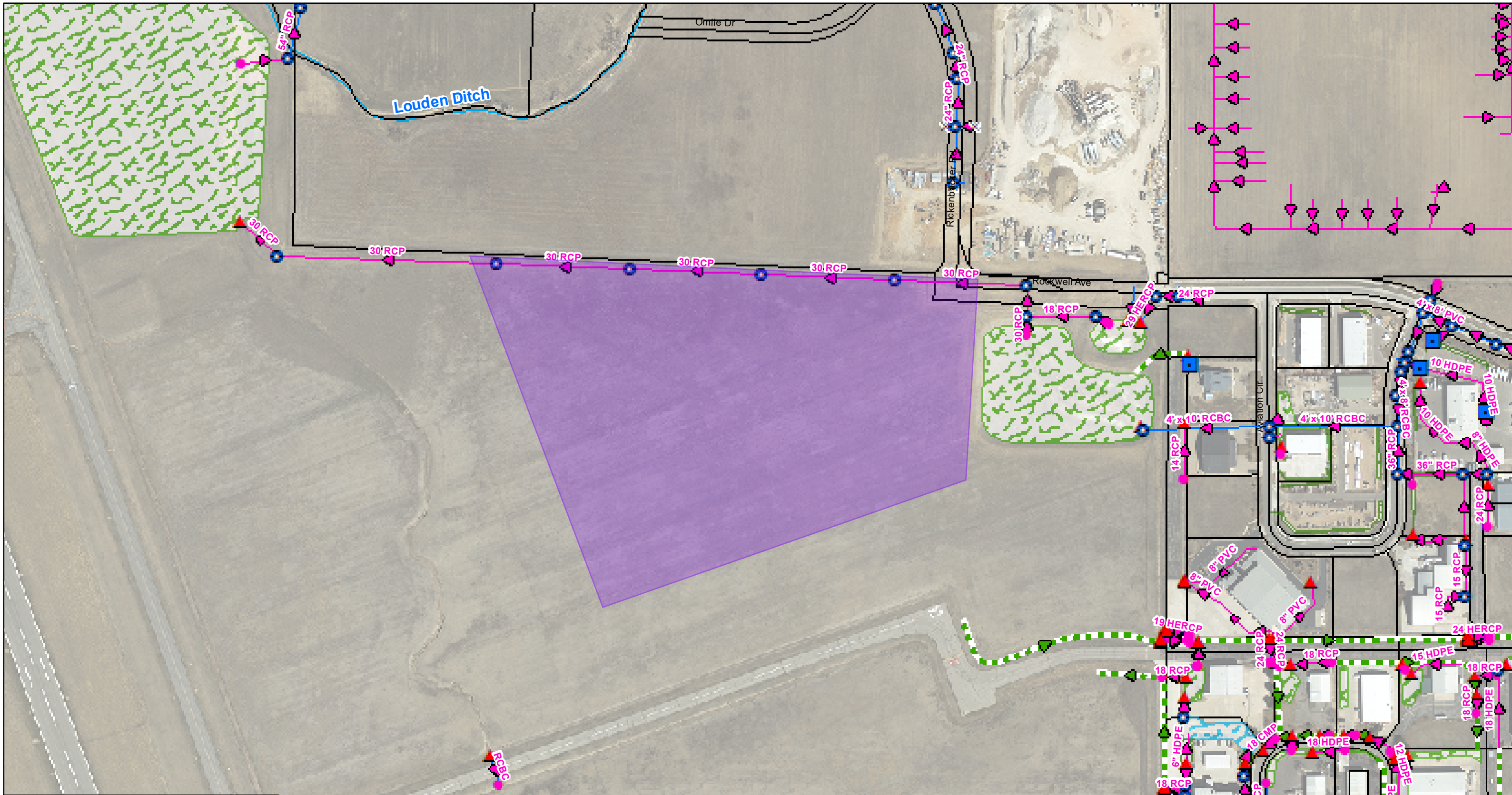


		Poles					Transformer OH A,B,C,3 Ph
							Transformer UG A,B,C,3 Ph
							Primary OH A,B,C,3 Ph
		Service Points					Primary UG A,B,C,3 Ph
							Secondary OH A,B,C,3 Ph
							Secondary UG A,B,C,3 Ph

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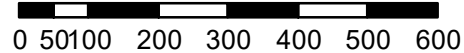
## Stormwater Comments

<b>Project</b>	Site C at the Northern Colorado Regional Airport (FNL)	<b>Date:</b> 9/12/2023
<b>Reviewer</b>	Suzette Schaff, 970.962.2531, <a href="mailto:Suzette.Schaff@cityofloveland.org">Suzette.Schaff@cityofloveland.org</a>	
<b>Drainage Report</b>	A lot specific final drainage and erosion control report will need to be prepared in accordance with our storm drainage criteria and construction standards which may be found on our web site at the following address: <a href="https://www.lovgov.org/services/public-works/stormwater/stormwater-standards">https://www.lovgov.org/services/public-works/stormwater/stormwater-standards</a> .	
<b>Stormwater Detention Requirements</b>	Please coordinate directly with the airport director as to any localized storm drainage detention improvements which may be necessary for this application.	
<b>Stormwater Drainage Design Requirements</b>	<ul style="list-style-type: none"> <li>• Please coordinate directly with the airport director as to any localized storm drainage improvements which may be necessary for this application.</li> <li>• An existing 30-inch diameter RCP is located along the north edge of the Site C property. This pipe serves as the outlet pipe for the existing Loveland-Fort Collins Industrial Park Ninth Subdivision detention pond located east of this property and needs to remain in place.</li> <li>• Please be aware that the outlet pipe for the existing Loveland-Fort Collins Industrial Park Ninth Subdivision detention pond has only been sized to serve the pond and does not contain the capacity for additional flows from other sources.</li> </ul>	
<b>Temporary Sediment &amp; Erosion Control</b>	Our Temporary Sediment & Erosion Control submittal requirements may be found on our web site at the following address: <a href="https://www.lovgov.org/services/public-works/stormwater/stormwater-standards">https://www.lovgov.org/services/public-works/stormwater/stormwater-standards</a> .	
<b>Permanent Stormwater Quality Best Management Practices</b>	Please refer to the FAA requirements for permanent stormwater quality control measures on the site.	
<b>Storm Drainage &amp; Erosion Control Standards and Details</b>	Our storm drainage & erosion control standard construction details may be found on our web site at the following address: <a href="https://www.lovgov.org/services/public-works/stormwater/stormwater-standards">https://www.lovgov.org/services/public-works/stormwater/stormwater-standards</a> .	







City of Loveland

Feet



**STORMWATER MANHOLES**

**Water Quality BMP**

-  YES
-  Standard MH
-  STORMWATER OUTFALLS
-  STORMWATER OUTFALLS




**STORMWATER INLETS**

**Water Quality BMP Type**

-  Standard
-  Bottomless
-  Filter
-  Snout
-  Sump




**STORMWATER STORM SEWER**

**Private**




-  No
-  Yes
-  STORMWATER CHANNEL

**STORMWATER DETENTION PONDS**

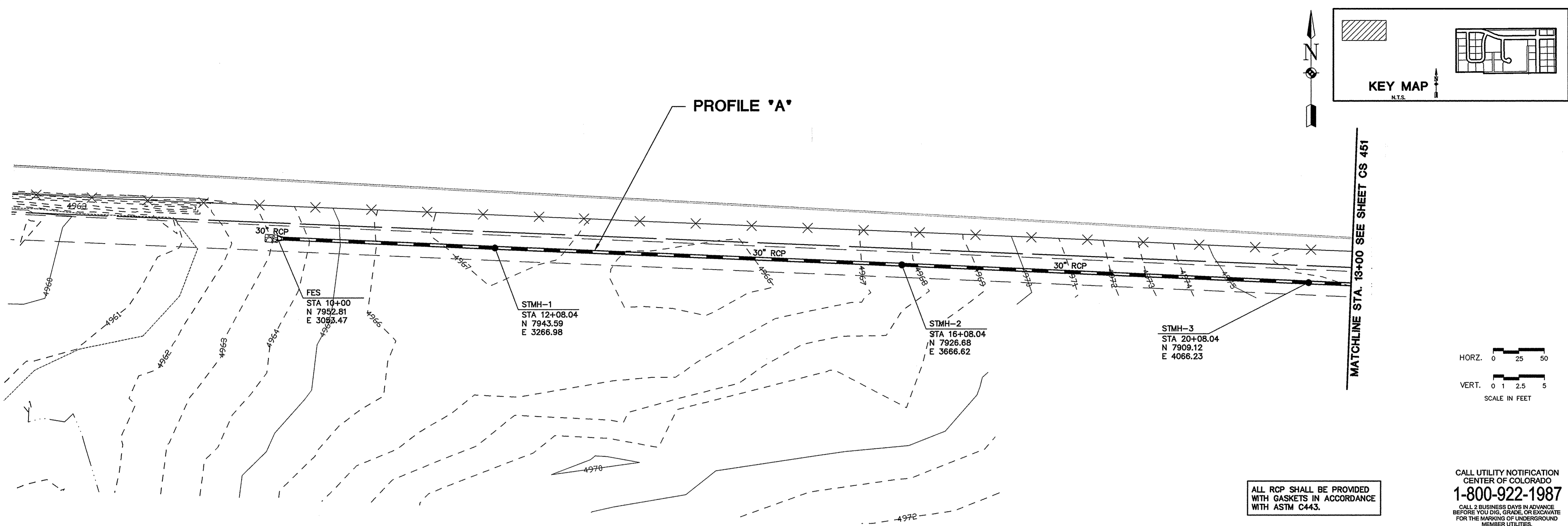
**Water Quality BMP Ponds**

-  YES
-  NO
-  LID

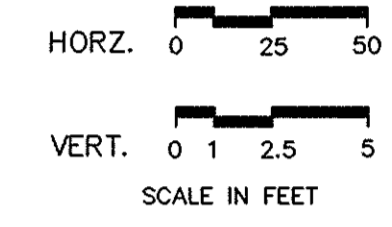
**CULVERT ENDS**

-  Culvert Ends
-  Plugged
-  WATER QUALITY OUTFALL STRUCTURE

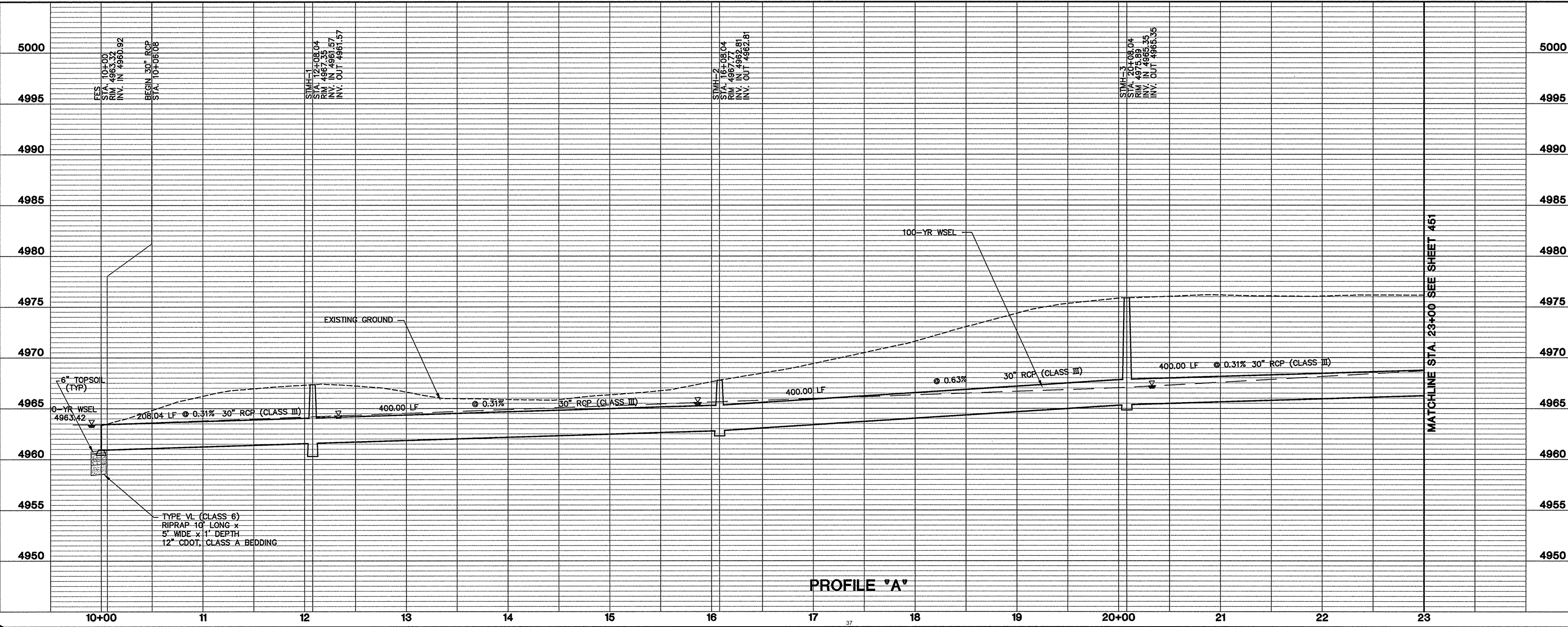




ALL RCP SHALL BE PROVIDED WITH GASKETS IN ACCORDANCE WITH ASTM C443.



CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



NO.	REVISIONS	DATE	BY
6			
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 PROJECT MANAGER: J. ALLEN-MORTLEY  
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PROJECT: LOVELAND - FORT COLLINS INDUSTRIAL AIRPARK 9th SUBDIVISION LOVELAND COLORADO  
 TITLE OF DRAWING: STORM DRAIN PLAN AND PROFILE PROFILE "A" STA. 10+00 TO STA. 23+00

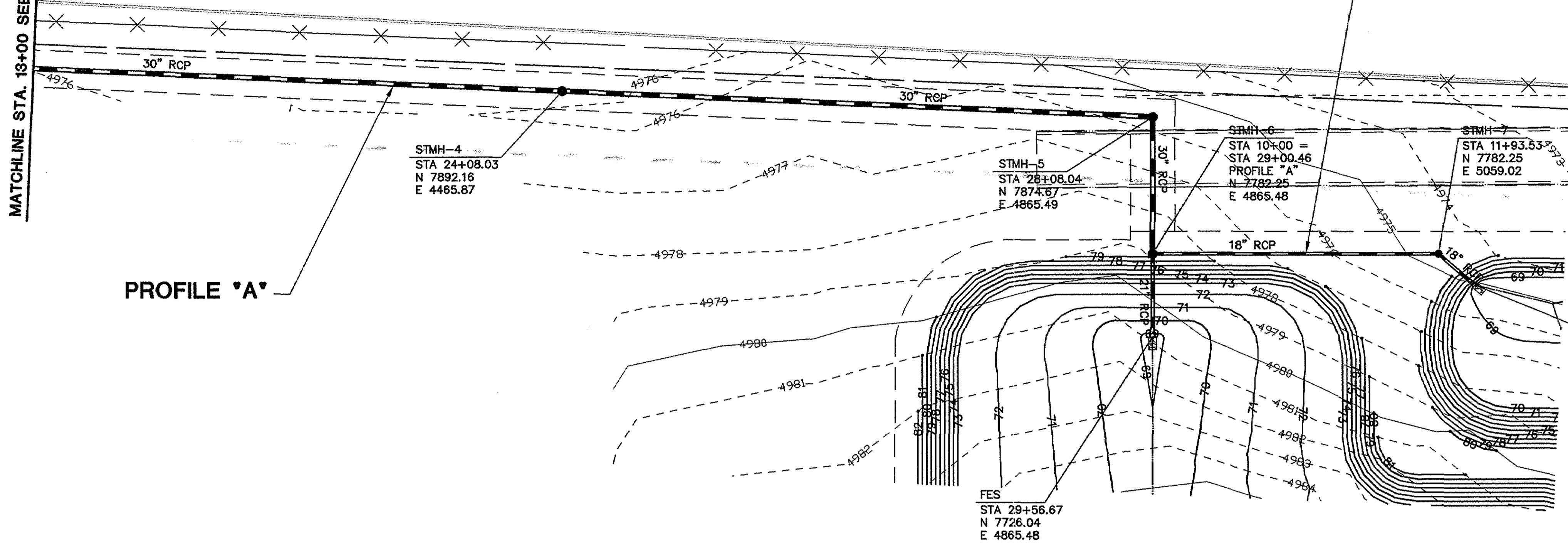
PROJECT NO. 207-002  
 DRAWING NO. CS 450

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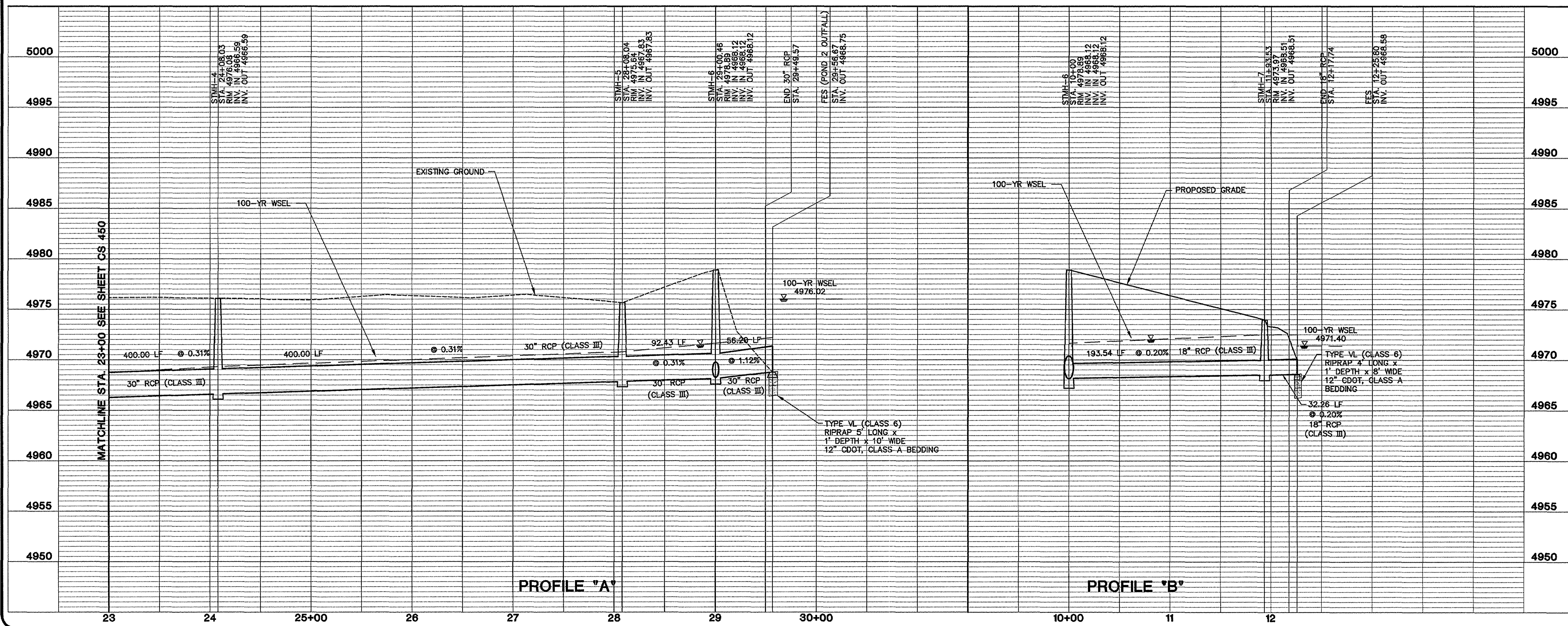
MATCHLINE STA. 13+00 SEE SHEET CS 450

PROFILE 'A'

PROFILE 'B'



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 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKINGS OF UNDERGROUND MEMBER UTILITIES.



PROFILE 'A'

PROFILE 'B'

TYPE-VL (CLASS 6)  
 RIPRAP 5' LONG x  
 1' DEPTH x 10' WIDE  
 12" CDOT, CLASS-A BEDDING

TYPE-VL (CLASS 6)  
 RIPRAP 4' LONG x  
 1' DEPTH x 8' WIDE  
 12" CDOT, CLASS-A  
 BEDDING

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 DESCRIPTION OF THE ALTERATIONS.

PROJECT ENGINEER/ARCHITECT  
 J. COOCH  
 PROJECT MANAGER  
 J. ALLEN-MORLEY  
 DRAWN BY  
 B. MOELLENHOFF  
 SCALE  
 1" = 50'

PROJECT NO.  
 207-002  
 DRAWING NO.  
 CS 451

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PROJECT  
 LOVELAND - FORT COLLINS INDUSTRIAL AIRPARK  
 9th SUBDIVISION  
 LOVELAND  
 COLORADO  
 TITLE OF DRAWING  
 STORM DRAIN PLAN AND PROFILE  
 PROFILE 'A' STA 23+00 - STA 29+56.67 & PROFILE 'B'

PROJECT NO.  
 207-002  
 DRAWING NO.  
 CS 451

### GRANT OF EASEMENTS

The undersigned Grantors for and in consideration of Ten Dollars (\$10.00) in hand paid, the receipt of which is hereby acknowledged, and other good and valuable consideration, do hereby grant and convey to Centre Point, LLC, a Colorado limited liability company ("Grantee"), whose address is 3409 Terry Ridge Road, Fort Collins, Colorado 80524, and its successors, assigns, lessees, licensees and agents the following perpetual easements: (1) a perpetual easement to install, modify, operate, maintain, remove and replace an underground pipe for the conveyance of stormwater upon, over, under and across certain real property situated in the City of Loveland, County of Larimer, State of Colorado, which the Grantors own and which is described and depicted on Exhibits A-1 and A-2, attached hereto and by this referenced incorporated herein; (2) a perpetual easement for the installation, modification, operation, maintenance, removal and replacement of a stormwater detention pond, and a drainage ditch to convey stormwater into such pond, upon, over, under and across certain real property situated in the City of Loveland, County of Larimer, State of Colorado, which the Grantors own and which is described and depicted on Exhibits B-1 and B-2, attached hereto and incorporated herein by reference; and (3) a temporary construction easement for the installation of the underground pipe and detention pond referenced above, such temporary construction easement being described and depicted on Exhibits C-1 and C-2, attached hereto and incorporated herein by reference, (such easements collectively referred to herein as the "Easements").

As consideration for the Grant of Easements, the Grantors and the Grantee agree as follows:

1. Grantee shall install those improvements generally shown on Exhibit D, attached hereto and incorporated herein by reference and shall further install all work in the area of the Easements in accordance with the utility plans approved by the City of Loveland for the Loveland-Fort Collins Industrial Airpark Ninth Subdivision, entitled the "Public Improvements and Construction Plans for Loveland-Fort Collins Industrial Airpark 9<sup>th</sup> Subdivision, Loveland, Colorado" (Sheet Nos. CS 450, CS 451, and CS 452) and on file with the City of Loveland.
2. Grantee shall restore, at its sole cost, disturbed areas within the Easements to their original condition.
3. After installation of the storm drainage improvements in the Easements, such improvements shall be perpetually maintained by Grantee, or its assigns, and the Grantors shall have no responsibility whatsoever for such maintenance.
4. The rights, conditions and provisions of this Grant of Easement shall inure to the benefit of and be binding upon the successors and assigns of the respective parties hereto.

Dated this 8<sup>th</sup> day of January, 2002.

Return To: Merrill, Lilly & Sons  
110 E. Oak, Ft. Collins, CO 80524  
LAL

GRANTORS:

CITY OF LOVELAND, COLORADO, a municipal corporation



By: Kathleen R. Gilliland  
Kathleen R. Gilliland, Mayor

By: Donna Visconti  
Donna Visconti, City Clerk

APPROVED AS TO FORM:

By: John Duval  
John Duval, City Attorney

CITY OF FORT COLLINS, COLORADO, a municipal corporation

By: Ray Martinez  
Ray Martinez, Mayor

ATTEST:

By: Wanda H. Krasiczek  
Wanda Krasiczek, City Clerk

APPROVED AS TO FORM:

By: Stephen J. Roy  
Assistant City Attorney

GRANTEE:

CENTRE POINT, LLC, a Colorado limited liability company

By: Thomas W. Beshore  
Thomas W. Beshore, Manager

Return To: Marsh, Liley, & Olive  
110 E. Oak, Ft. Collins, CO 80524  
LAL



3

STATE OF COLORADO )  
 ) ss.  
COUNTY OF LARIMER )

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of December, 2001, by Kathleen R. Gilliland as Mayor of the City of Loveland, Colorado, a municipal corporation.

Witness my hand and official seal.  
GLORIA D. BYRD  
NOTARY PUBLIC  
STATE OF COLORADO

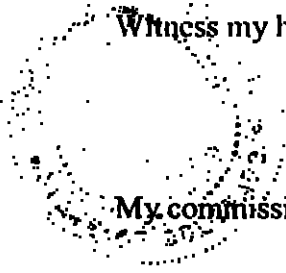
My Commission Expires: 07-21-04

My commission expires: July 21, 2004

Gloria D. Byrd  
Notary Public

STATE OF COLORADO )  
 ) ss.  
COUNTY OF LARIMER )

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of December, 2001, by Ray Martinez as Mayor of the City of Fort Collins, Colorado, a municipal corporation.

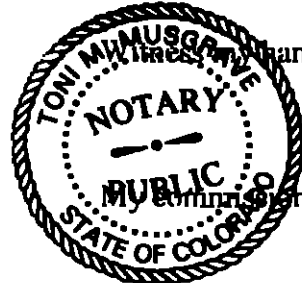
Witness my hand and official seal.  


My commission expires: 9-12-2004

Rita Knoll Harris  
Notary Public

STATE OF COLORADO )  
 ) ss.  
COUNTY OF LARIMER )

The foregoing instrument was acknowledged before me this 8<sup>th</sup> day of January, 2002, by Thomas W. Beshore as Manager of Centre Point, LLC, a Colorado limited liability company.

Witness my hand and official seal.  


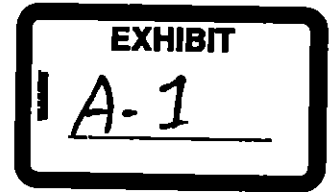
My commission expires: 12-12-2005

Toni M. Musgrave  
Notary Public

Return To: March, Lily, & Olive  
110 E. Oak, Ft. Collins, CO 80504  
LAL



ARCHITECTURE 5285 McWhinney Blvd, Suite 190  
 LOVELAND, CO 80538  
 970.461.2800 phone  
 970.461.2801 fax  
 www.searbrown.com



**DESCRIPTION: UTILITY EASEMENT**

A utility easement being a portion of TRACT B, BARNSTORM SECOND ADDITION, located in Section 28, Township 6 North, Range 68 West of the 6th Principal Meridian, City of Loveland, County of Larimer, State of Colorado being more particularly described as follows:

Considering the East line of said BARNSTORM SECOND ADDITION as bearing South 00°08'45" West (recorded as South 00°32'09" W) and with all bearings contained herein relative thereto:

Commencing at the East Quarter corner of said Section 28; thence, South 77°14'27" West, 416.95 feet to the POINT OF BEGINNING; thence, North 90°00'00" West, 30.00 feet; thence, North 00°00'20" East, 65.57 feet; thence, North 87°30'58" West, 1185.63 feet; thence, North 87°34'41" West, 400.01 feet; thence, North 87°27'14" West, 485.70 feet; thence, North 03°02'54" East, 24.41 feet to a point on the South line of an existing 20 foot wide sanitary sewer easement recorded at Book 1846, Page 102 on file at the office of the Larimer County Clerk and Recorder; thence along said South line, South 87°32'13" East, 2100.02 feet; thence, South 00°00'20" West, 89.56 feet to the Point of Beginning.

The above described easement contains 1.249 acres more or less and is subject to all easements and rights-of-way now on record or existing.

April 16, 2001  
 ut-casemnt.doc  
 207-002  
 jaa

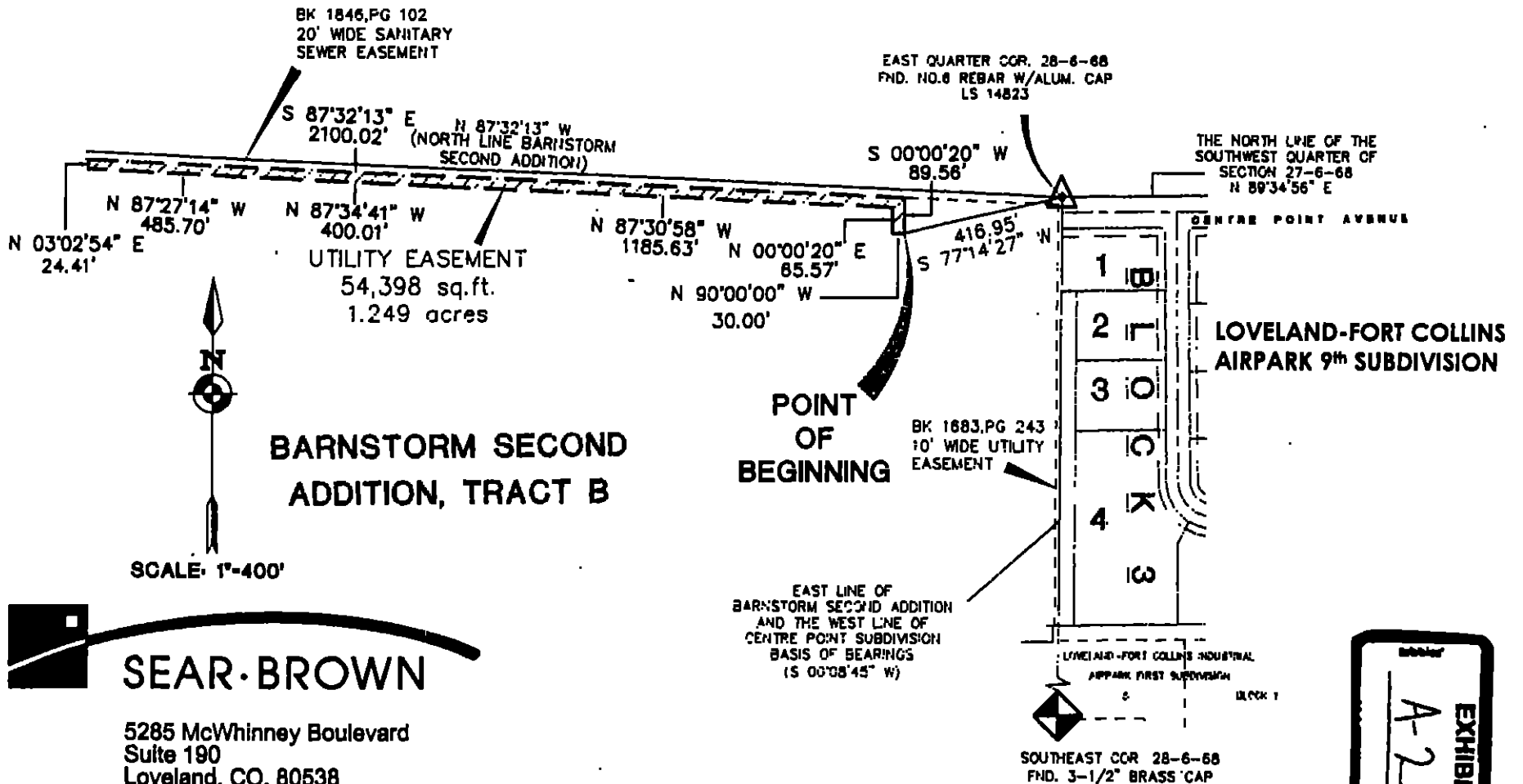
Return To: March, Lilly & Olive  
 110 E. Oak, Ft Collins, CO 80524  
 LAZ

Return To: March, Liley, & Olive  
110 E. Oak, Ft. Collins, CO 80524

*LAL*

# EXHIBIT

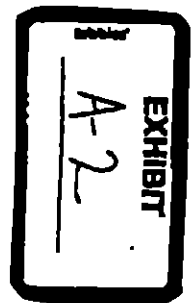
A TRACT OF LAND BEING A PORTION OF  
BARNSTORM SECOND ADDITION  
LOCATED IN SECTION 28, TOWNSHIP 6 NORTH  
RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN,  
CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO.



**BARNSTORM SECOND  
ADDITION, TRACT B**

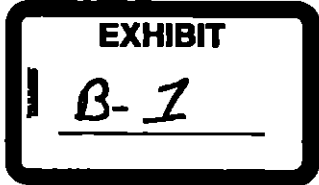
## SEAR·BROWN

5285 McWhinney Boulevard  
Suite 190  
Loveland, CO. 80538  
(970) 461-2800  
www.searbrown.com



ut-easemnt.DWG

JOB NO. 207-002



**DESCRIPTION: DRAINAGE EASEMENT**

A drainage easement being a portion of TRACT B, BARNSTORM SECOND ADDITION, located in Section 28, Township 6 North, Range 68 West of the 6th Principal Meridian, City of Loveland, County of Larimer, State of Colorado being more particularly described as follows:

Considering the East line of said BARNSTORM SECOND ADDITION as bearing South 00°08'45" West (recorded as South 00°32'09" West) and with all bearings contained herein relative thereto:

Commencing at the East Quarter corner of said Section 28; thence along the East line of said TRACT B, BARNSTORM SECOND and the West line of LOVELAND-FORT COLLINS AIRPARK 9<sup>th</sup> SUBDIVISION, South 00°08'45" West, 35.38 feet to the POINT OF BEGINNING; thence, continuing along said line, South 00°08'45" West, 1047.08 feet; thence, departing said line, North 89°51'15" West, 30.00 feet; thence, North 00°08'45" East, 581.35 feet; thence, South 89°56'05" West, 241.29 feet; thence, North 90°00'00" West, 244.12 feet to a point on a curve concave to the Northeast having a central angle of 90°13'41", a radius of 80.00 feet and the chord of which bears North 44°53'09" West, 113.36 feet; thence along the arc of said curve 125.98 feet; thence, North 00°13'41" East, 255.73 feet to a point on a curve concave to the Southeast having a central angle of 83°35'02", a radius of 80.00 feet and the chord of which bears North 50°44'13" East, 106.63 feet; thence along the arc of said curve 116.71 feet; thence, South 89°59'40" East, 76.45 feet; thence, North 00°00'20" East, 5.70 feet; thence, North 90°00'00" East, 354.23 feet; thence, North 31°55'53" East, 66.96 feet; thence, South 89°51'15" East, 46.92 feet to the Point of Beginning.

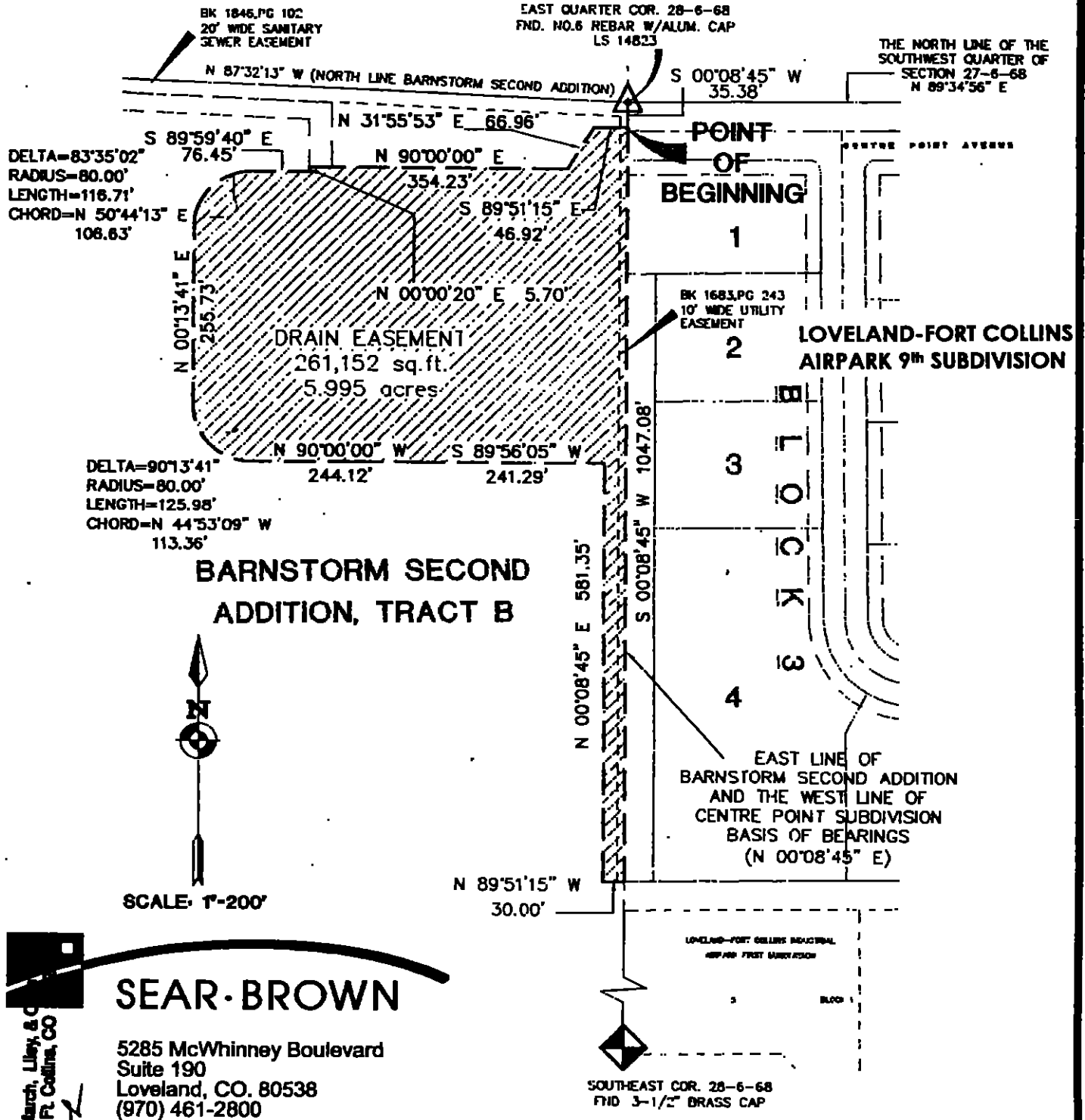
The above described easement contains 5.995 acres more or less and is subject to all easements and rights-of-way now on record or existing.

April 16, 2001  
drn-ease.doc  
207-002  
jta

Return To: March, Libby & Olive  
110 E. Oak, Ft. Collins, CO 80504

*LMZ*

**EXHIBIT**  
**A TRACT OF LAND BEING A PORTION OF**  
**BARNSTORM SECOND ADDITION**  
**LOCATED IN SECTION 28, TOWNSHIP 6 NORTH**  
**RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN,**  
**CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO.**



**BARNSTORM SECOND  
ADDITION, TRACT B**



SCALE: 1"=200'

**SEAR·BROWN**

5285 McWhinney Boulevard  
Suite 190  
Loveland, CO. 80538  
(970) 461-2800  
www.searbrown.com

JOB NO. 207-002 DRAIN.DWG

Submitted To: March, Lilly, & Co.  
180 E. Oak, Ft. Collins, CO

*Signature*

8



AG, TITLE CURR 5285 McWhinney Blvd, Suite 190  
PRINCIPALS Loveland, CO 80538  
PLANNING 970.461.2800 phone  
CONSTRUCTION 970.461.2801 fax  
www.searbrown.com



**DESCRIPTION: CONSTRUCTION EASEMENT**

A construction easement being a portion of TRACT B, BARNSTORM SECOND ADDITION, located in Section 28, Township 6 North, Range 68 West of the 6th Principal Meridian, City of Loveland, County of Larimer, State of Colorado being more particularly described as follows:

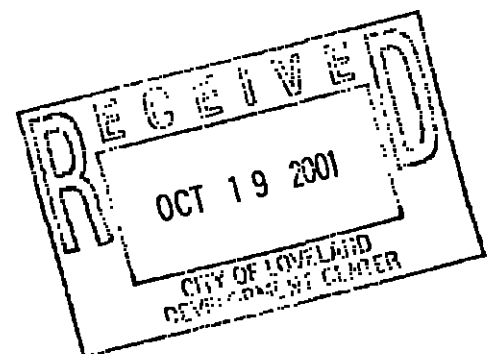
Considering the East line of said BARNSTORM SECOND ADDITION as bearing South 00°08'45" West (recorded as South 00°32'09" W) and with all bearings contained herein relative thereto:

Commencing at the East Quarter corner of said Section 28; thence, South 78°05'29" West, 446.26 feet to the POINT OF BEGINNING; thence, North 89°59'40" West, 30.00 feet; thence, North 00°00'20" East, 36.84 feet; thence, North 87°30'58" West, 1156.88 feet; thence, North 87°34'41" West, 400.02; thence, North 87°27'14" West, 485.73 feet; thence, North 02°32'46" East, 30.00 feet; thence, South 87°27'14" East, 485.70 feet; thence, South 87°34'41" East, 400.01 feet; thence, South 87°30'58" East, 1185.63 feet; thence, South 00°00'20" West, 65.57 feet to the Point of Beginning.

The above described easement contains 1.452 acres more or less and is subject to all easements and rights-of-way now on record or existing.

October 18, 2001  
Const-case.doc  
207-002  
jaa

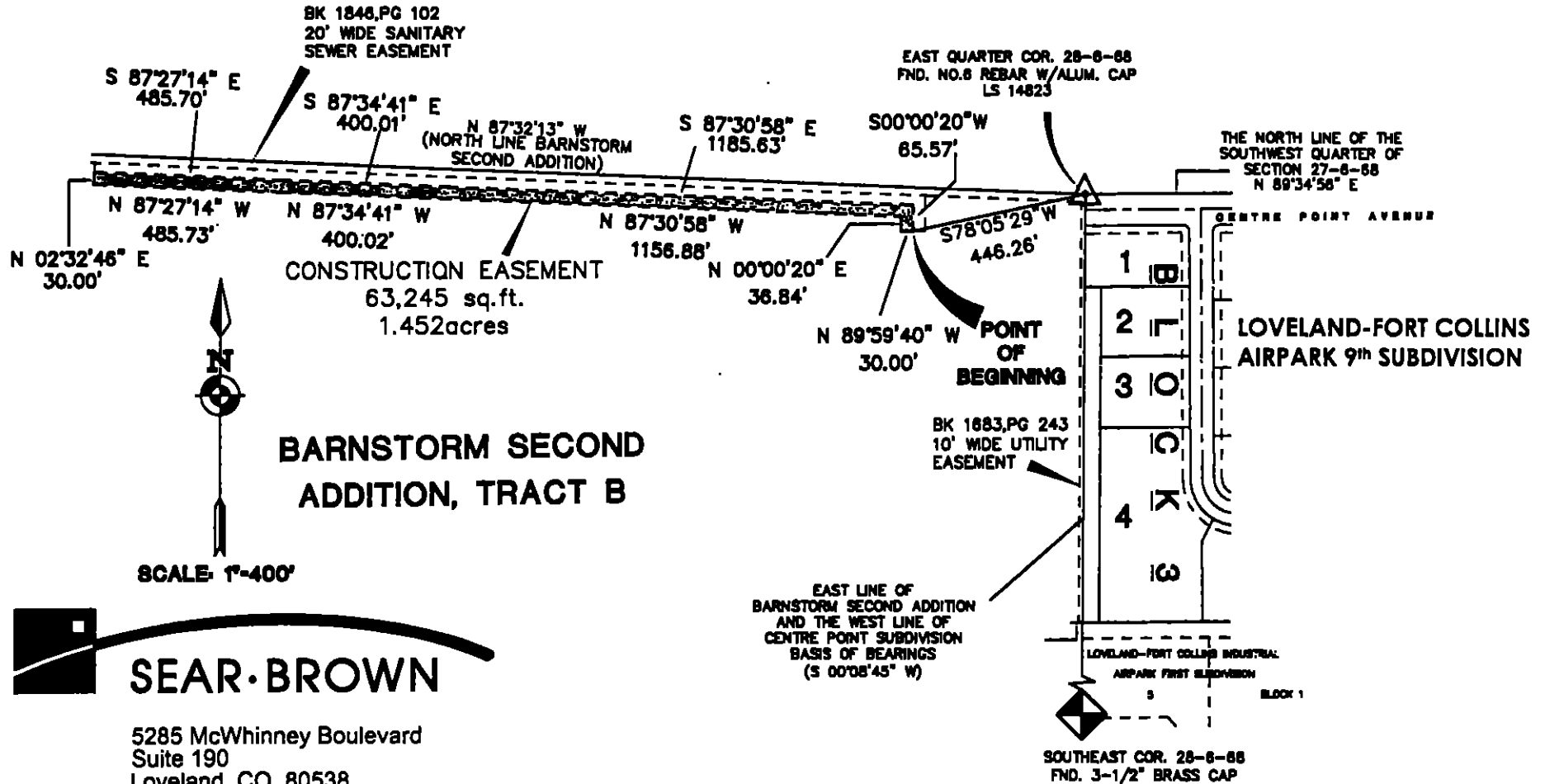
Return To: March, Lilley, & Olive  
110 E. Oak, Ft Collins, CO 80524  
LAX



EXHIBIT

C-2

**CONSTRUCTION EASEMENT EXHIBIT**  
**A CONSTRUCTION EASEMENT BEING A PORTION OF**  
**BARNSTORM SECOND ADDITION**  
**LOCATED IN SECTION 28, TOWNSHIP 6 NORTH**  
**RANGE 68 WEST OF THE 6th PRINCIPAL MERIDIAN,**  
**CITY OF LOVELAND, COUNTY OF LARIMER, STATE OF COLORADO.**



**BARNSTORM SECOND  
 ADDITION, TRACT B**

**SEAR·BROWN**

5285 McWhinney Boulevard  
 Suite 190  
 Loveland, CO. 80538  
 (970) 461-2800  
 www.searbrown.com

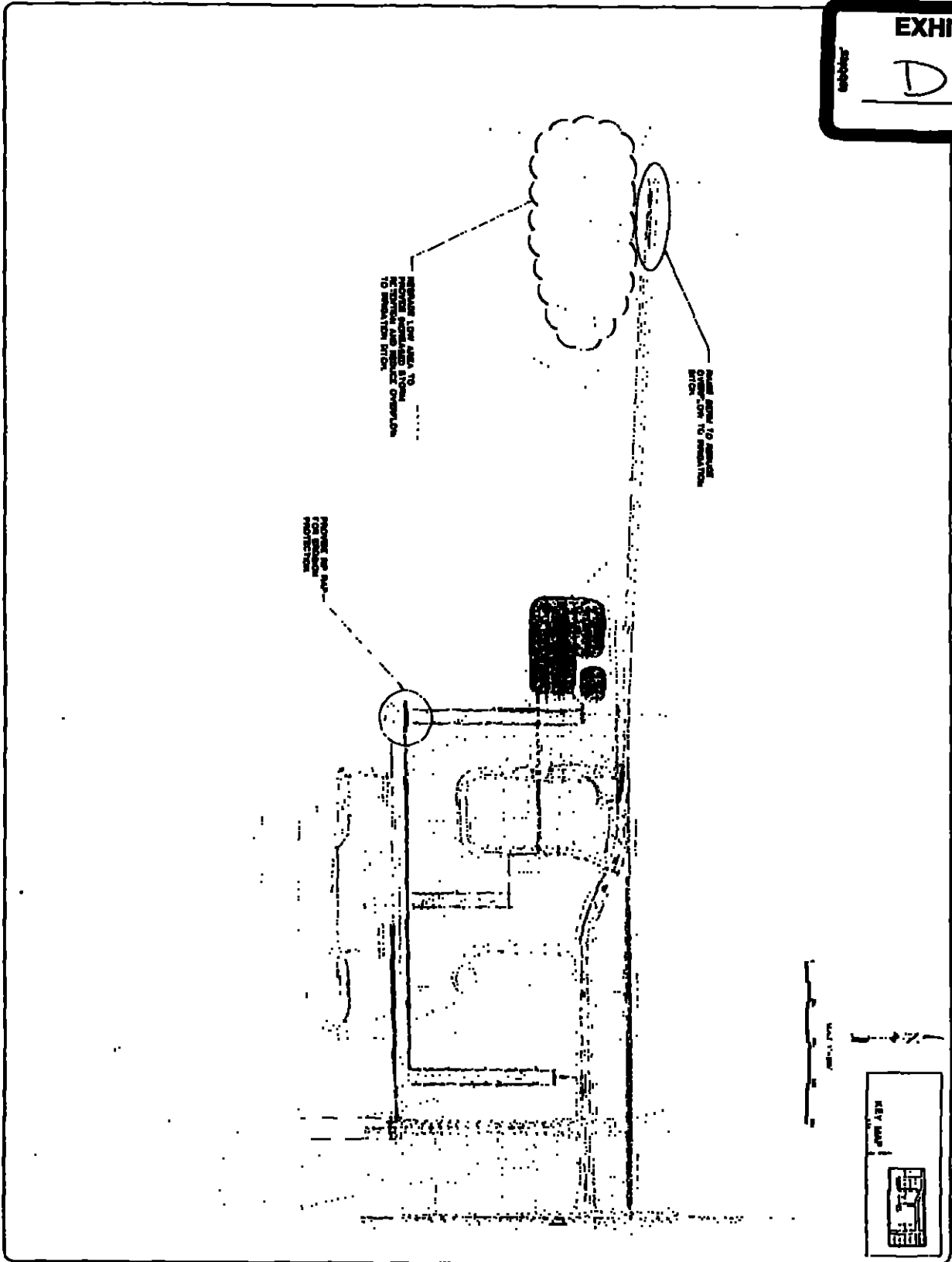
Return To: March, Liley, & Orvis  
 110 E. Oak, Ft. Collins, CO 80524

JOB NO. 207-002 const-ease.DWG

36/10

Date Time Location	Name Title
--------------------------	---------------

**EXHIBIT**  
D



REMARKS: THIS AREA TO BE MAINTAINED TO REMAIN OPEN TO REMAIN OPEN.

REMARKS: THIS AREA TO BE MAINTAINED TO REMAIN OPEN.

REMARKS: THIS AREA TO BE MAINTAINED TO REMAIN OPEN.



Return to: March, Libby, & Olive  
 110 E. Oak, Ft. Collins, CO 80524

LAL

1-800-762-1000 SEAR-BROWN 1000 1000		1000 1000 1000	1000 1000 1000
----------------------------------------------	--	----------------------	----------------------



**MARCH, LILEY & OLIVE P.C.**

ATTORNEYS AND COUNSELORS AT LAW  
110 E. OAK STREET, SUITE 200  
FORT COLLINS, COLORADO 80524 2880  
(970) 482-4327  
Fax (970) 482-5719

ARTHUR E. MARCH  
1908-1981  
ARTHUR F. MARCH, JR.  
Retired, 2002

LUCIA A. LILEY  
J. BRADFORD MARCH  
STEWART W. OLIVE

February 7, 2002

Tom Beshore  
Centre Point, L.L.C.  
3409 Terry Ridge Road  
Fort Collins, CO 80524

Re: Centre Point Business Park - Grant of Easements

Dear Tom:

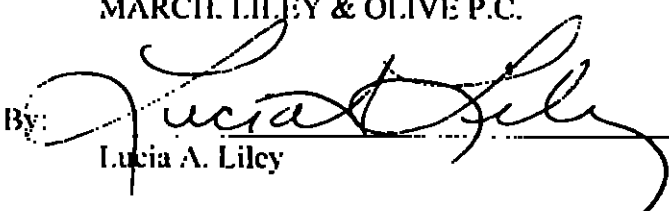
Enclosed is the original, fully executed recorded copy of the Grant of Easements regarding the Loveland-Fort Collins Industrial Airpark 9<sup>th</sup> Subdivision for your files. I have also sent a copy to the City of Loveland and City of Fort Collins.

Please call me with any questions.

Sincerely,

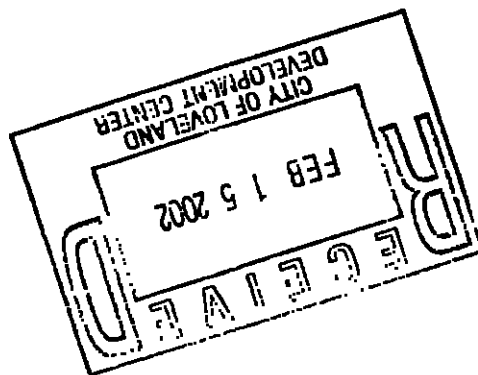
MARCH, LILEY & OLIVE P.C.

By:

  
Lucia A. Liley

LAL/tmm

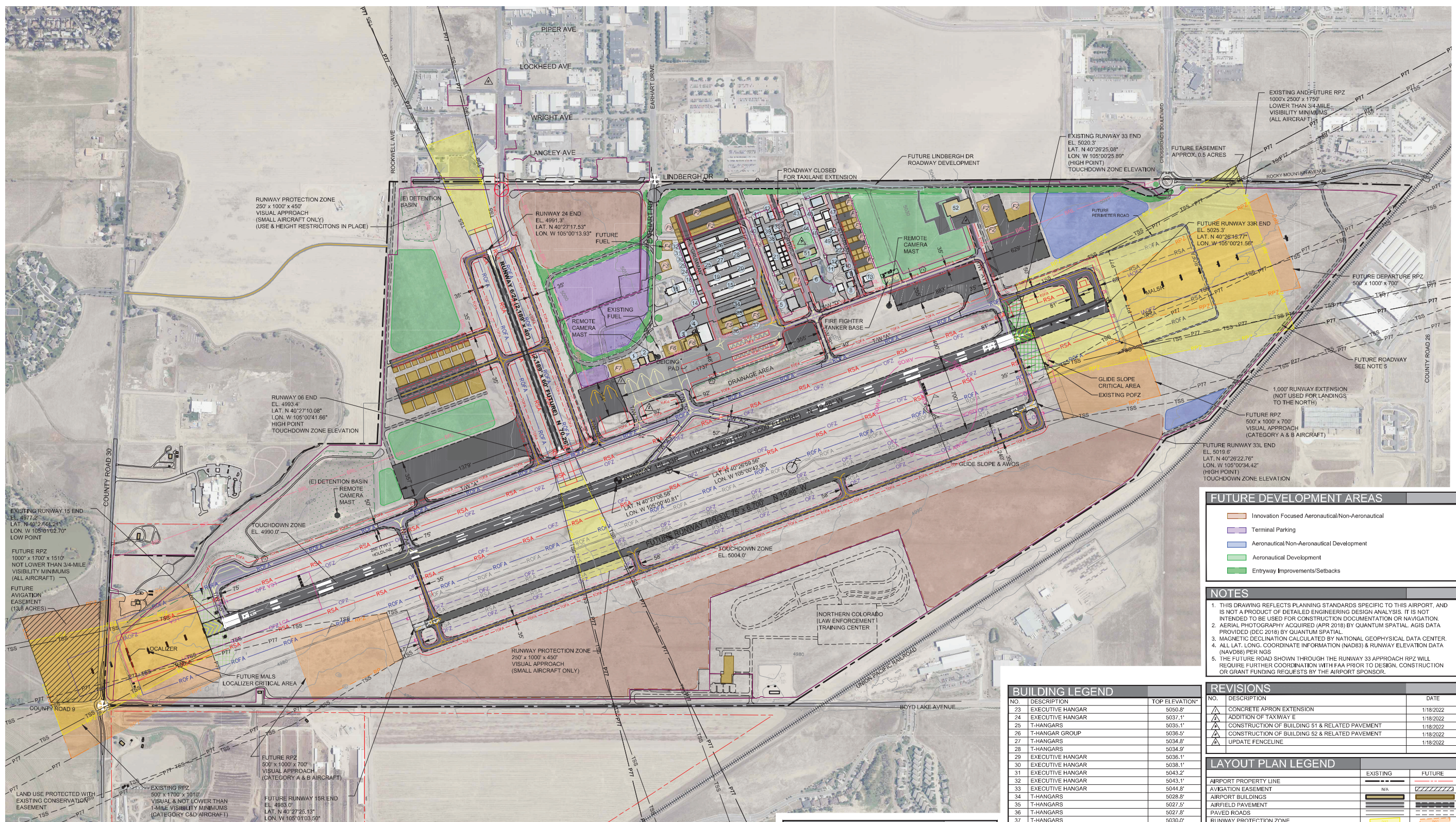
Enclosure



These documents shall not be used for any purpose or project for which it is not intended. Dibble shall be indemnified by the client and shall have no liability and no responsibility for any claims, damages, liabilities, losses, and expenses, including attorneys' fees and costs, arising out of or from the use or reuse of the documents. In addition, unauthorized reproduction of these documents, in part or as a whole, is prohibited.

NORTHERN COLORADO REGIONAL AIRPORT AIRPORT LAYOUT PLAN UPDATE

4900 EARHART RD LOVELAND, CO 80538



**FUTURE DEVELOPMENT AREAS**

- Innovation Focused Aeronautical/Non-Aeronautical
- Terminal Parking
- Aeronautical/Non-Aeronautical Development
- Aeronautical Development
- Entryway Improvements/Setbacks

**NOTES**

- THIS DRAWING REFLECTS PLANNING STANDARDS SPECIFIC TO THIS AIRPORT, AND IS NOT A PRODUCT OF DETAILED ENGINEERING DESIGN ANALYSIS. IT IS NOT INTENDED TO BE USED FOR CONSTRUCTION DOCUMENTATION OR NAVIGATION.
- AERIAL PHOTOGRAPHY ACQUIRED (APR 2018) BY QUANTUM SPATIAL. AGIS DATA PROVIDED (DEC 2018) BY QUANTUM SPATIAL.
- MAGNETIC DECLINATION CALCULATED BY NATIONAL GEOPHYSICAL DATA CENTER.
- ALL LAT, LONG, COORDINATE INFORMATION (NAD83) & RUNWAY ELEVATION DATA (NAVD88) PER NGS.
- THE FUTURE ROAD SHOWN THROUGH THE RUNWAY 33 APPROACH RPZ WILL REQUIRE FURTHER COORDINATION WITH FAA PRIOR TO DESIGN, CONSTRUCTION OR GRANT FUNDING REQUESTS BY THE AIRPORT SPONSOR.

**BUILDING LEGEND**

NO.	DESCRIPTION	TOP ELEVATION*
23	EXECUTIVE HANGAR	5050.8'
24	EXECUTIVE HANGAR	5037.1'
25	T-HANGARS	5035.1'
26	T-HANGAR GROUP	5036.5'
27	T-HANGARS	5034.8'
28	T-HANGARS	5034.9'
29	EXECUTIVE HANGAR	5036.1'
30	EXECUTIVE HANGAR	5038.1'
31	EXECUTIVE HANGAR	5043.2'
32	EXECUTIVE HANGAR	5043.1'
33	EXECUTIVE HANGAR	5044.8'
34	T-HANGARS	5028.8'
35	T-HANGARS	5027.5'
36	T-HANGARS	5027.8'
37	T-HANGARS	5030.0'
38	EXECUTIVE HANGAR	5045.0'
39	EXECUTIVE HANGAR	5043.1'
40	EXECUTIVE HANGAR	5045.5'
41	EXECUTIVE HANGAR	5045.5'
42	EXECUTIVE HANGAR	5047.0'
43	EXECUTIVE HANGAR	5053.5'
44	EXECUTIVE HANGAR	5052.4'
45	EXECUTIVE HANGAR	5062.6'
46	EXECUTIVE HANGAR	5055.7'
47	EXECUTIVE HANGAR	5053.4'
48	EXECUTIVE HANGAR	5055.2'
49	EXECUTIVE HANGAR	5050.8'
50	EXECUTIVE HANGAR	5034.0'
51	EXECUTIVE HANGAR	5018.0'
52	EXECUTIVE HANGAR	5031.0'
F1	FUTURE EXECUTIVE HANGAR	5048' EST.
F2	FUTURE T-HANGARS	5036' EST.
F3	FUTURE REMOTE TOWER BUILDING	5027' EST.
F4	FUTURE FUEL FACILITIES	5027' EST.
F5	FUTURE FBO HANGARS	5032' EST.
F6	FUTURE FBO HANGARS	5050' EST.
F7	FUTURE PASSENGER TERMINAL BUILDING	5016' EST.
F8	FUTURE EXECUTIVE HANGAR	5036' EST.
F9	FUTURE EXECUTIVE HANGAR	5036' EST.

\* BUILDING ELEVATIONS FROM AGIS SURVEY DEC 2018.

**REVISIONS**

NO.	DESCRIPTION	DATE
1	CONCRETE APRON EXTENSION	1/18/2022
2	ADDITION OF TAXIWAY E	1/18/2022
3	CONSTRUCTION OF BUILDING 51 & RELATED PAVEMENT	1/18/2022
4	CONSTRUCTION OF BUILDING 52 & RELATED PAVEMENT	1/18/2022
5	UPDATE FENCELINE	1/18/2022

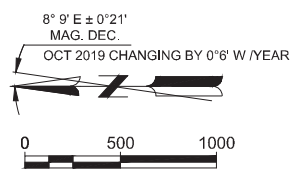
**LAYOUT PLAN LEGEND**

	EXISTING	FUTURE
AIRPORT PROPERTY LINE	---	---
AVIGATION EASEMENT	NA	---
AIRPORT BUILDINGS	█	█
AIRFIELD PAVEMENT	█	█
PAVED ROADS	█	█
RUNWAY PROTECTION ZONE	---	---
GLIDE PATH QUALIFICATION SURFACE	---	---
PART 77 APPROACH SURFACE	---	---
THRESHOLD SITING SURFACE	---	---
BUILDING RESTRICTION LINE	---	---
RUNWAY OBSTACLE FREE ZONE	---	---
INNER APPROACH OBSTACLE FREE ZONE	---	---
PRECISION OBSTACLE FREE ZONE	---	---
GLIDE SLOPE CRITICAL AREA	---	---
LOCALIZER CRITICAL AREA	---	---
RUNWAY SAFETY AREA	---	---
RUNWAY OBJECT FREE AREA	---	---
TAXIWAY SAFETY AREA	---	---
TAXIWAY OBJECT FREE AREA	---	---
TAXIWAY SHOULDER	---	---
TAXIWAY EDGE SAFETY MARGIN	---	---
AIRPORT SECURITY FENCE (8' HEIGHT)	---	---
APRON/TAXIWAY/TAXILANE MARKING	---	---
AIRPORT BEACON	★	NA
LIGHTED WIND CONE & SEGMENTED CIRCLE	---	NA
WIND CONE	---	NA
PRECISION APPROACH PATH INDICATOR (PAPI)	---	---
RUNWAY END IDENTIFIER LIGHTS (REL)	---	---
AIRPORT REFERENCE POINT (ARP)	---	---
REMOTE CAMERA MASTS	---	---
THROUGH-THE-FENCE ACCESS POINT	---	---

**BUILDING LEGEND**

NO.	DESCRIPTION	TOP ELEVATION*
1	PASSENGER TERMINAL BUILDING	5020.1'
2	PASSENGER SECURE HOLD AREA/ TEMPORARY REMOTE TOWER CONTROL CENTER	5021.5'
3	FBO HANGAR	5031.8'
4	FBO HANGAR	5045.5'
5	MAINTENANCE HANGAR	5040.6'
6	HANGAR	5060.1'
7	EXECUTIVE HANGAR	5048.8'
8	EXECUTIVE HANGAR	5048.4'
9	EXECUTIVE HANGAR	5060.3'
10	EXECUTIVE HANGAR	5047.0'
11	EXECUTIVE HANGAR	5049.2'
12	EXECUTIVE HANGAR	5046.7'
13	EXECUTIVE HANGAR	5047.0'
14	EXECUTIVE HANGAR	5040.4'
15	T-HANGARS	5034.0'
16	ARFF, SRE, GARAGE & AIRPORT ADMIN.	5042.6'
17	HANGAR	5035.7'
18	HANGAR	5032.9'
19	T-HANGARS	5034.0'
20	T-HANGARS	5031.3'
21	EXECUTIVE HANGAR GROUP	5036.6'
22	EXECUTIVE HANGAR	5048.4'

\* BUILDING ELEVATIONS FROM AGIS SURVEY DEC 2018.



FAA Approval:

Acting Manager, Denver ADO

Jul 12, 2022

**SPONSOR APPROVAL**

NAME/TITLE: Jason R. Licon, Airport Director

SIGNATURE:

DATE: April 7, 2022

**SURVEY MONUMENTS**

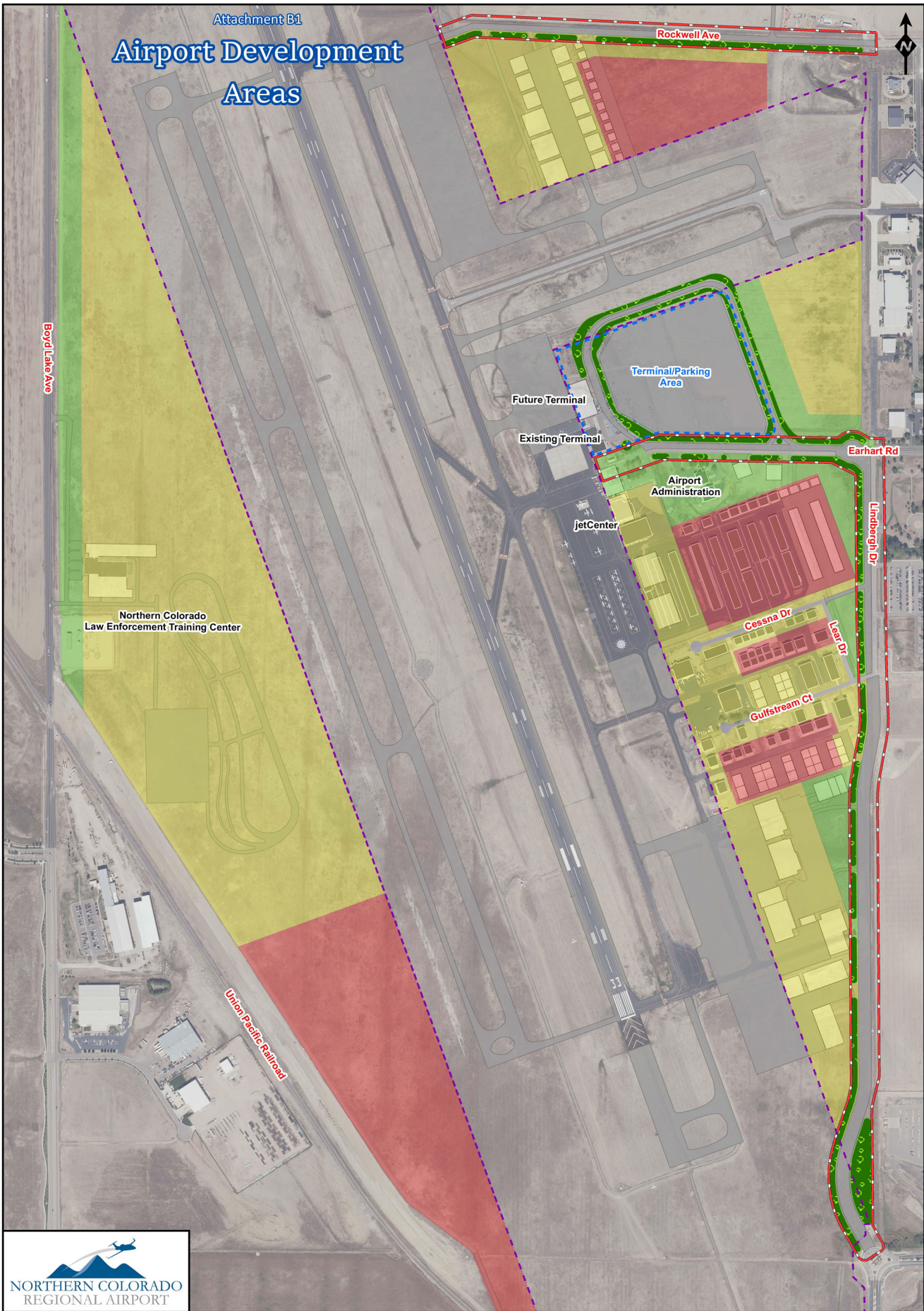
ITEM	CONTROL STATION IDENTIFICATION NUMBER	TYPE/PROTECTION	DESCRIPTION
F1	AI 5920	DISK SET IN CONCRETE MONUMENT	N 40°26'34"W 105°00'17" *FNL A*
F2	AI 5921	DISK SET IN CONCRETE MONUMENT	N 40°27'40"W 105°00'54" *FNL B*
F3	AE 3940	PUNCH HOLE, SS ROD W/PC PIPE & LID	N 40°26'56"W 105°00'31" *FNL C*











NOT FOR CONSTRUCTION

3115300-160154.01  
JUNE 2020  
M&H  
JWB  
CAL

SHEET CONTENTS  
FUTURE AIRPORT LAYOUT PLAN

# Airport Development Areas



 Development Area 1	 Aircraft Movement Reserve	 Existing Building
 Development Area 2	 Terminal/Parking Area	 Planned/Potential Building
 Development Area 3	 Corridor Area	 Planned/Potential Paved Area
	 Enhanced Landscaping Area	

51

0 250 500 1,000 Feet



# NORTHERN COLORADO REGIONAL AIRPORT

4900 Earhart Rd • Loveland, Colorado 80538

(970) 962-2850 • FAX (970) 962-2855 • TDD (970) 962-2620

**ITEM NUMBER:** 3

**MEETING DATE:** September 25, 2024

**PREPARED BY:** Aaron Ehle, Airport Planning & Development Specialist

---

## **TITLE**

Site B Development Proposal Review

## **RECOMMENDED PDSC ACTION**

Provide feedback on proposed layouts and development considerations

Provide guidance on potential lease agreement

## **SUMMARY**

Earlier this year, the Airport issued a Request for Expressions of Interest (REOI). One response, from Professional Aircraft Services, was received for Site B.

### Professional Aircraft Services

- Project Overview
- Layout Review
  - o Layout #1 vs. Layout #2
  - o Alignment with Master Plan
  - o Design Standards
  - o Cessna Dr Connection
  - o Remainder Parcel(s)
- Lease Agreement
  - o Offsite Improvements
  - o Lease Footprint
  - o Lease Rate (Unimproved vs. Improved)

## **ATTACHMENTS**

Concept Review Application



## CONCEPT REVIEW

### APPLICATION AND CHECKLIST

Concept Review meetings provide an opportunity to discuss proposals for development within the City and to obtain verbal and written feedback from City staff. The purpose of the meeting is to identify procedural and design requirements early in the process, and to identify the most effective pathway to achieve project approval. There is no fee for this meeting and it is not necessary to own the subject property to submit a concept review application.

#### Scheduling a Concept Review Meeting

- There are two 45-minute time slots available every Thursday afternoon at 1:15 and 2:15.
- To be scheduled for the next available meeting, applicants must submit a complete application electronically to [eplan-planning@cityofloveland.org](mailto:eplan-planning@cityofloveland.org).
- Upon submitting a completed application, you will be notified of your assigned meeting date and time.
- Please understand that clear and detailed application information will enable staff to provide more detailed feedback on your proposed project.

#### Application Checklist

Complete this checklist to verify you are submitting the required information.

- 1. Application.** Complete the application form on pages 2 and 3 of this checklist. All sections must be filled out to be a complete application.
- 2. Vicinity Map** identifying the project site within the neighborhood context, including the nearest major cross streets.
- 3. Conceptual Site Plan.** A site plan drawn neatly and accurately provides the information listed below and distinguishes between existing and proposed conditions:
  - a. Property lines;
  - b. Buildings;
  - c. Site improvements (streets, lots, driveways, sidewalks, and curbs);
  - d. Environmentally sensitive areas such as wetlands, floodplains, and mature trees;
  - e. Drainage features;
  - f. Water, wastewater, and power utilities; and
  - g. Emergency vehicle access to the site.

## APPLICATION

### Project Information

Project Name:	PAS Hangar		
Legal Description	<input checked="" type="checkbox"/> Inside City Limits: Lot/Tract <u>B</u> Block _____ Subdivision Name _____ Airport		
	<input type="checkbox"/> Outside City Limits: County Parcel Number: _____		
Address of Existing Buildings or Property	4824 Earhart Rd, Loveland CO 80538		
Existing Use	Aircraft Maintenance	Proposed Use	Aircraft Maintenance / Aircraft Storage
Will the project be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Number of Phases
Important Project Time Frame Needs:	12 to 18 month preferable		

### Applicant's Contact Information

Name: Terry Cecil	Phone: 970-679-4633
Address: 4824 Earhart Rd Loveland CO    Zip Code: 80538	
Email Address: 1C152@msn.com	Preferred Method of Contact: <input type="checkbox"/> Phone <input checked="" type="checkbox"/> Email
Relationship to Project: <input checked="" type="checkbox"/> Property Owner <input type="checkbox"/> Developer <input type="checkbox"/> Realtor <input type="checkbox"/> Consultant <input type="checkbox"/> Other	

### Meeting Information

Meetings are currently being conducted through teleconferencing. Accommodations can be made for an in-person meeting. If you would like to request an in-person meeting, please contact the Planning Division at 970-962-2523.

- A MS Teams meeting invitation will be sent to the applicant listed above by Tuesday, the week of the concept review meeting.
- It is the applicant's responsibility to forward the meeting invitation to those on their team that would like to attend. It is advisable to include your full team in the meeting, including ownership representatives.

Please indicate who will be attending the meeting:

Property Owner   
  <sup>Contractor</sup> Developer   
  Realtor   
  Legal Representative   
  Consultant

### Confidentiality

- Concept review applications and associated materials submitted to the City are considered confidential and will not be released to the public at any time.
- Written comments provided by City staff, however, are not considered confidential.
- For questions regarding confidentiality, please contact the Planning Division at 970-962-2523.

## PROJECT INFORMATION

### Existing Property and Use

Provide a description of what structures are existing, what uses are occurring, and any additional information on the current use and condition of the property.

Vacant Land Site B

### Proposed Development

Provide a description of the proposed use(s) and improvements proposed for the property, including building square footages, if known.

Large aircraft Hangar with single slope roof from North to South. Hangar facility to include west side of Hangar space for (PAS) aircraft maintenance facility. East side of Hangar to be split into three private box Hangars for Aircraft Storage. Current estimated square footage of facility 28,400.

### Questions

List questions for staff. This information is required and must be completed for the application to be accepted. The more specific the questions are, the better staff can provide answers.

1. Discuss required set back distance from Earhart Rd.
2. Utilities specifics for Building
3. Process of closing Lear Dr. to extend Taxi way to Site B for Aircraft.
4. Any additional infrastructure requirements for Site B.
5. Any information regarding potential Building Tax Liability, Cost.
- 6.) Any Square footage restrictions for proposed uses.
- 7.) % percentage requirement regarding exterior stone vs steel

Vicinity Map





**Professional Aircraft Services  
Layout #1**

**Existing Fence**

**Permanently Close Road**

**Lear Dr**

**New Road**



300'

Parking  
140'  
35'

**Apron**

280'

**New Fence**

**Lindbergh Dr**

**Earhart Rd**

Professional Aircraft Services  
Layout #2

Existing Fence



Permanently Close Road

Lear Dr

New Road

205' X 80'  
Hangar

66'  
X  
60'

66'  
X  
60'

66'  
X  
60'

Apron

35' Parking

140'

New Fence

280'

300'

Lindbergh Dr

Earhart Rd